

# AIUla Central & South

## Community Facilities Typology Design Guidelines

May 2024



## REVISION UPDATE

1<sup>st</sup> Edition

1<sup>st</sup> Revision

Document Name	Edition	Edition Date	Revision	Revision Date
AIUla Central and South: Community Facilities Typology Design Guidelines	01	10/05/2024	01	10/05/2024



# Community Facilities Typology Design Guidelines

## CONTENTS

<b>1</b>	<b>Introduction</b>	<b>4</b>
<b>2</b>	<b>Purpose of this Document</b>	<b>6</b>
<b>3</b>	<b>Cultural Services Design Requirements</b>	<b>8</b>
<b>4</b>	<b>Educational Services Design Requirements</b>	<b>12</b>
<b>5</b>	<b>Government Services Design Requirements</b>	<b>20</b>
<b>6</b>	<b>Healthcare Facilities Design Requirements</b>	<b>24</b>
<b>7</b>	<b>Religious Facilities Design Requirements</b>	<b>28</b>
<b>8</b>	<b>Recreational Facilities Design Requirements</b>	<b>32</b>
<b>9</b>	<b>List of Abbreviations</b>	<b>36</b>

# 1. Introduction

---

## Master Plan Vision

**‘Achieving sustainable urban transformation – future resilience and knowledge for the benefit of the local and global community.’**

---

## Master Plan 2: AIUla Central and South

The AIUla Master Plan 2 districts house the maximum population within the County and are strong anchors for urban growth. The key districts within Master Plan 2 are AIUla Central, AIUla South, Mughayra, Abu Zuraib and Outer Core Areas.

The intent of the Master Plan Area 2 is to provide support to the other 3 Master Plan Areas, as MP2 earmarks the arrival to AIUla. The MP2 area houses the primary urban and service areas for the wider county.

The Detailed Plan development for AIUla Central and South (2023) is a comprehensive Master Plan for those districts.





Villa Hegra

Old House  
Boutique Hotel

HOP Housing

AlUla Central  
Tram Station

Eastern Canyon  
Urban Centre

Urban SEED

Tram Depot

Stadium

Hijaz Tram  
Station

Hijaz Train  
Station

Sayya Park

Urban SEED

Urban SEED

Urban SEED

AlUla Sports &  
Outdoor Play  
Centre

Urban SEED

Figure 1: AlUla Central and South Illustrative Master Plan (2023)

## 2. Purpose of this Document

This guideline aims to regulate community facilities typology in AlUla Governorate and setting the mandatory design requirements as described in the guideline. The land uses across AlUla Central and South districts are grouped by type (landuse level 1) and broken down into individual land uses (landuse level 2).

Each of the land uses has a corresponding land use code. Figure 2 illustrates the land uses that have been distributed across the districts. This guideline provides the Land use typology mandatory guidelines for Community facility plots to be developed within these districts, as outlined in the below table.

Table 1: Community Facilities Land Use Typologies Guidelines List (Base Districts)

Landuse Code Level 1	Landuse Code Level 2	Land Use Level 1	Land Use Level 2
CS	CS	Cultural Services	Cultural Services
	HI	Cultural Services	Heritage Assets
GS	GS1	Government Facilities	Government Offices
ED	ED1	Education Facilities	Kindergarten
	ED2	Education Facilities	School
	ED3	Education Facilities	University
	ED4	Education Facilities	Special Institute
HF	HF1	Healthcare Facilities	Hospital
	HF2	Healthcare Facilities	Health Centre/Clinic
RF	RF1	Religious Facilities	Juma Mosque
	RF2	Religious Facilities	Local Mosque
	RF3	Religious Facilities	Other Facilities
RC	REC1	Recreational Facilities	Stadium
	REC2	Recreational Facilities	Sports Centre
	REC3	Recreational Facilities	Recreational Club





**LEGEND**

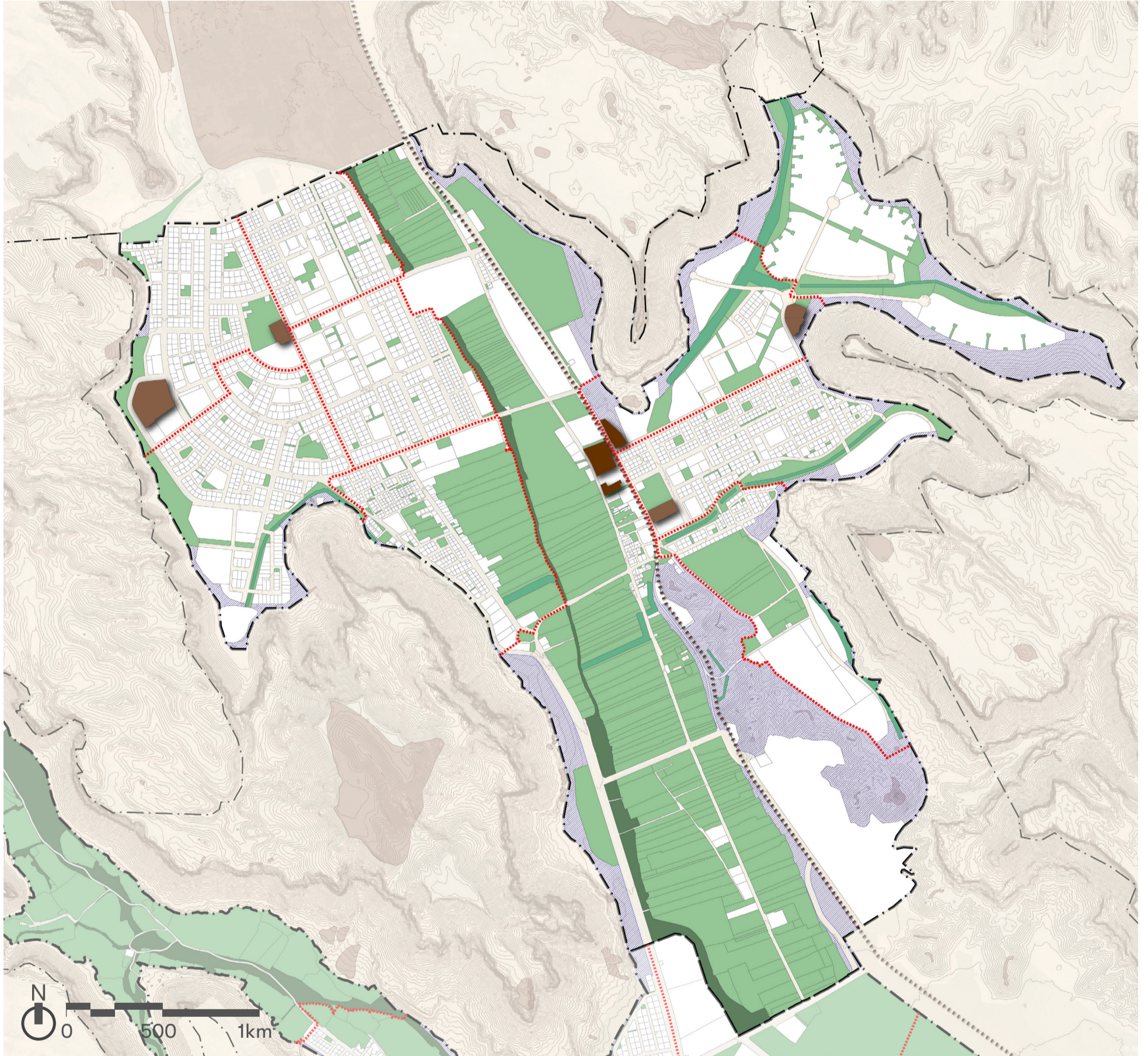
- R1-Residential High Density
- R2-Residential Medium Density 2
- R3-Residential Medium Density 1
- R4-Residential Low Density
- R4a-Residential Low Density - Luxury
- R5-Residential Special
- R6-Residential Agriculture
- R7-Residential Affordable
- MU-Planned Unit Development
- MUR1-Residential Mixed Use High density
- MUR2-Residential Mix Use Low to Medium density
- H1-Hotel (Low Density)
- H2-Hotel (Medium Density)
- H3-Hotel (High Density)
- H4-Resort
- MUO-Mixed Use Office
- O-Office
- BP-Business Park
- RT1-District Centre Retail & F&B
- RT2-Neighbourhood/Local Retail and F&B
- RT3-Warehouse Retail
- CS-Cultural Services
- HI-Heritage Assets
- ED1-Kindergarten
- ED2-School
- ED3-University
- ED4-Special Institute
- GS1-Government Offices
- HF1-Hospital
- HF2-Health Centre/Clinic
- RF1-Juma Mosque
- RF2-Local Mosque
- RF3-Other Facilities
- REC1-Stadium
- REC2-Sports Centre
- REC3-Recreational Club
- OS1-Local Park
- OS2-Neighbourhood Park
- OS3-District Park
- OS4-Settlement Park
- OS5-Wadi Edge Park
- OS6-Plaza
- OS7-Sikkas
- WA-Wadi
- AG-Farms
- CE-Cemetery
- SS1-Support Services (Industrial)
- SS2-City Support Services
- PU1-Public Utility
- PU2-Transport Utility
- SP-Special Projects
- EN1-No build Zones
- EN2-Irrigation Channels



Figure 2: AlUla Central and South Land Use Level 2 Plan (2023)

# 3. Cultural Services Design Requirements

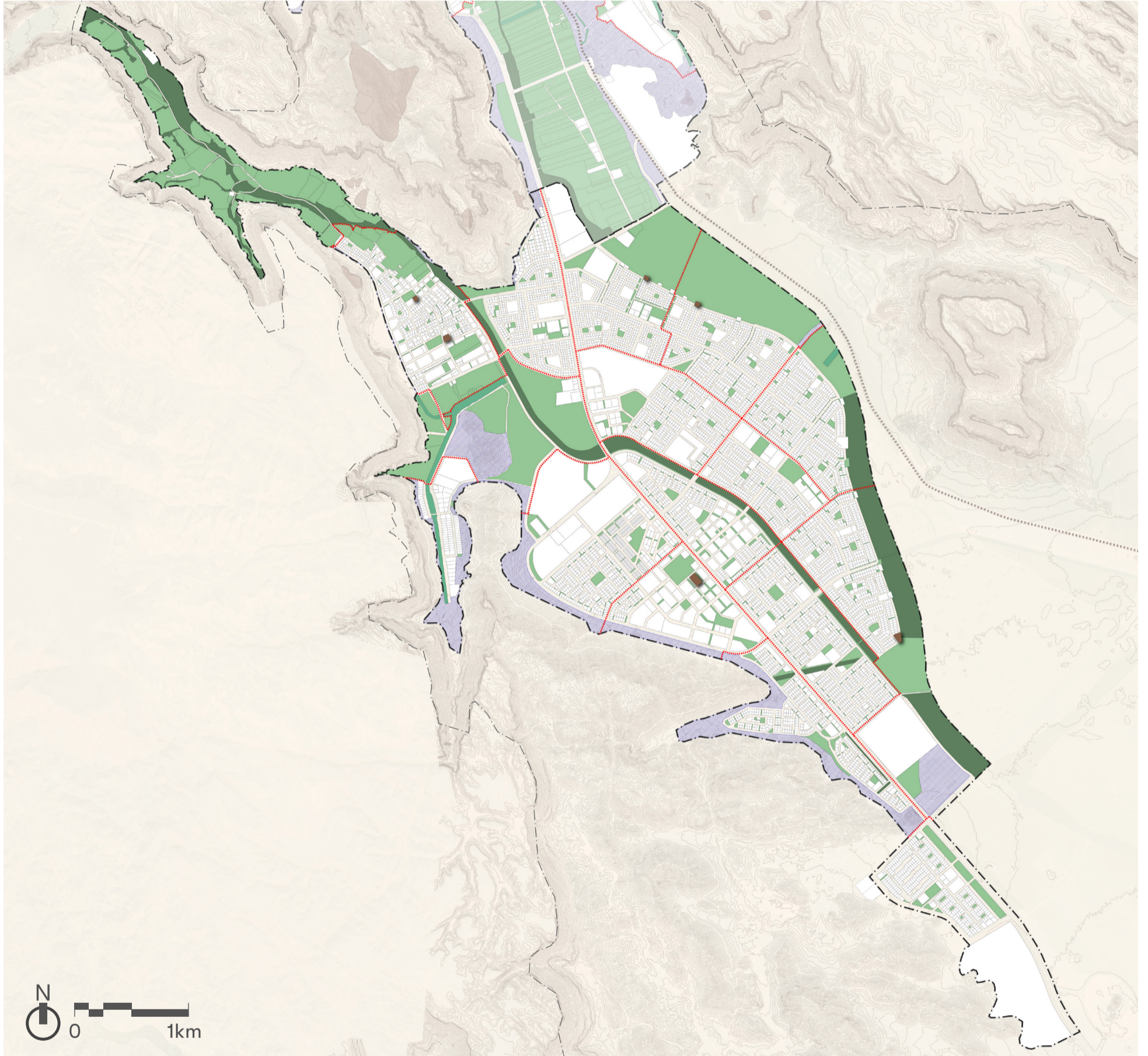
AIUla Central Cultural Services Land Use Plan



- LEGEND**
- CS-Cultural Services
  - HI-Heritage Assets
  - WA-Wadi
  - Open Space and Farms
  - EN1-No build Zones
  - Plots



### AlUla South Cultural Services Land Use Plan



- LEGEND**
- CS-Cultural Services
  - HI-Heritage Assets
  - WA-Wadi
  - Open Space and Farms
  - EN1-No build Zones
  - Plots

# Cultural Services Design Requirements

## Category ECS: CULTURAL SERVICES

Description - The Cultural Services (CS) is specialised city and community functions including museums, cultural centres, libraries, social clubs, etc.

### Development Requirements

#### Uses

Land use Level 1	Cultural Services
Land use Level 2	Cultural Services
Permitted Uses	<ul style="list-style-type: none"> <li>• Museums</li> <li>• Social Clubs</li> <li>• Libraries</li> <li>• Community Centres</li> <li>• Cultural Centre/City Hall</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>• Major Infrastructure Installations</li> <li>• General industrial, special industrial</li> <li>• Worker's dormitory, Religious use, Vehicle park (car/lorry)</li> <li>• All other type of commercial use</li> </ul>
Conditional Uses	<ul style="list-style-type: none"> <li>• Complementary uses not exceeding 35% of the GFA dependent on RCU approval</li> </ul>
Ancillary Uses	<ul style="list-style-type: none"> <li>• Electrical substation (ESS)</li> <li>• Refuse area</li> <li>• Management Office, meeting room</li> <li>• Display area</li> </ul>
Average Plot Size	1,000sqm

#### Coverage

Maximum Plot Coverage	50%
Minimum Landscape Coverage	15%
Maximum FAR	0.4

#### Building

Maximum Height (Roof Line)	13.2 metres (including maximum 1.2m parapet), 3 Storeys
Maximum Height for Accessory Buildings	N/A
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines - Central and South AIUla.
Building Form	Detached

#### Building Setback (Minimum)

Main Building	Front - 6 m; Side 6m and Rear - 6m
Basement Setback	• N/A
Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• N/A

#### Service Areas and Equipment

Loading Docks	<ul style="list-style-type: none"> <li>• Loading docks, if any, shall be located to the rear of the building.</li> <li>• Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses</li> </ul>
Outdoor Storage Area	<ul style="list-style-type: none"> <li>• No outdoor storage shall be allowed</li> </ul>
Refuse Storage Areas	<ul style="list-style-type: none"> <li>• Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.</li> </ul>

## Development Requirements

Mechanical Equipment	<ul style="list-style-type: none"> <li>At grade water tank and mechanical equipment: Shall be located to the side or rear of the building</li> <li>At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities</li> </ul>
----------------------	---

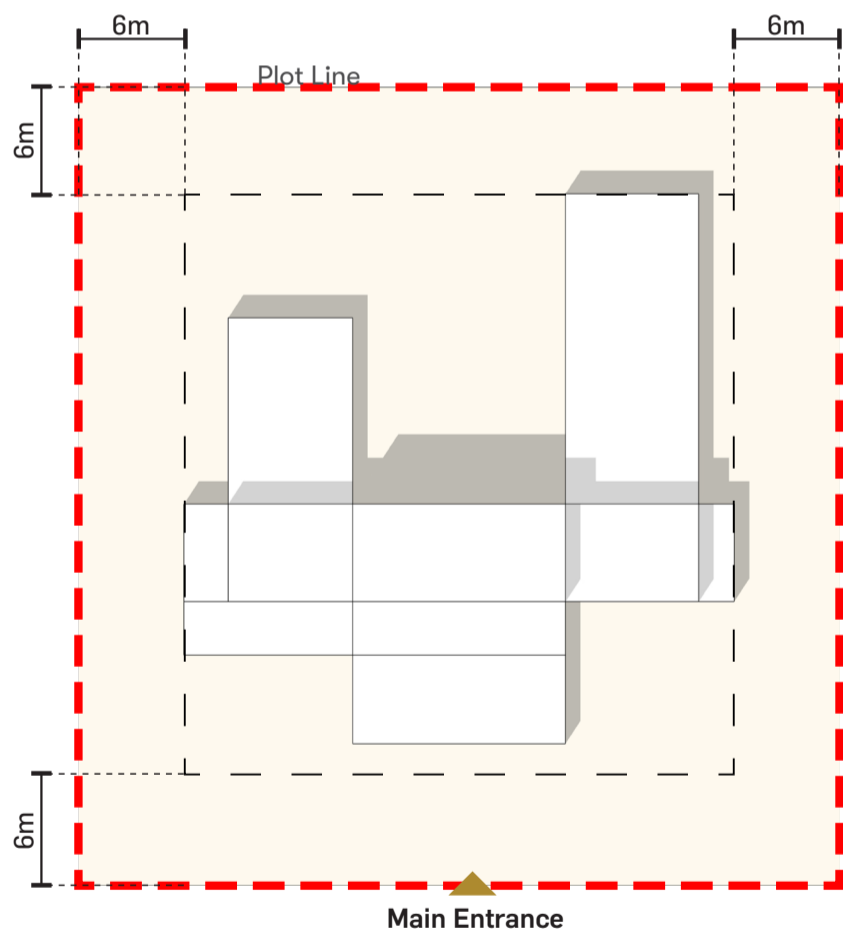
## Parking

Parking Rate	1 parking space per 25sqm GFA (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)
--------------	---

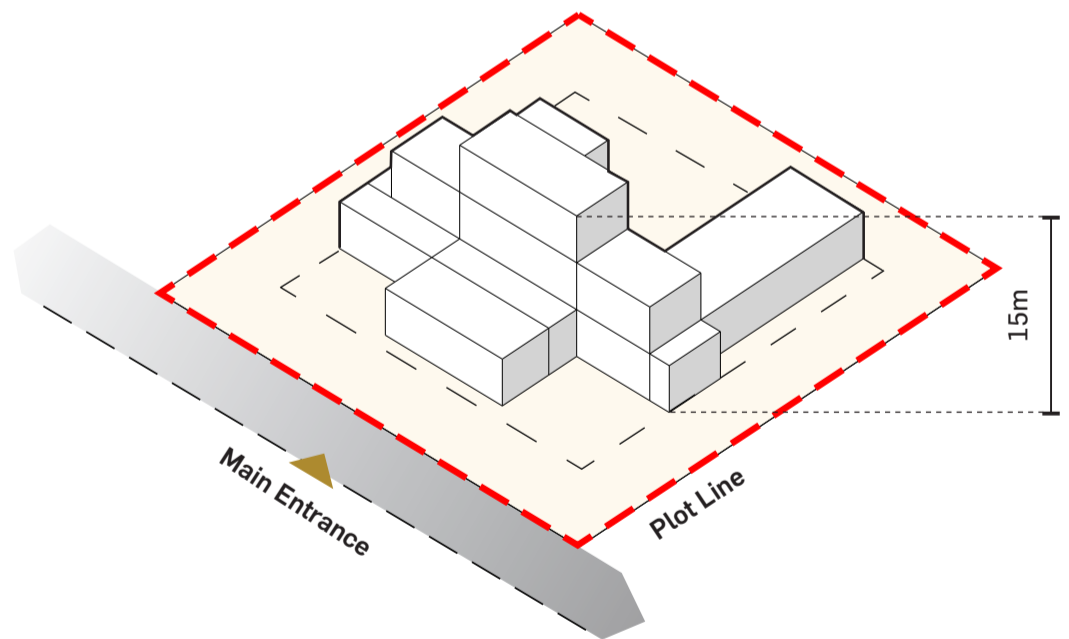
Parking Location	Required parking stalls shall be provided within the lot boundary
------------------	---

## Fencing and Walls

Location	Discouraged
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



PLAN



3D VIEW

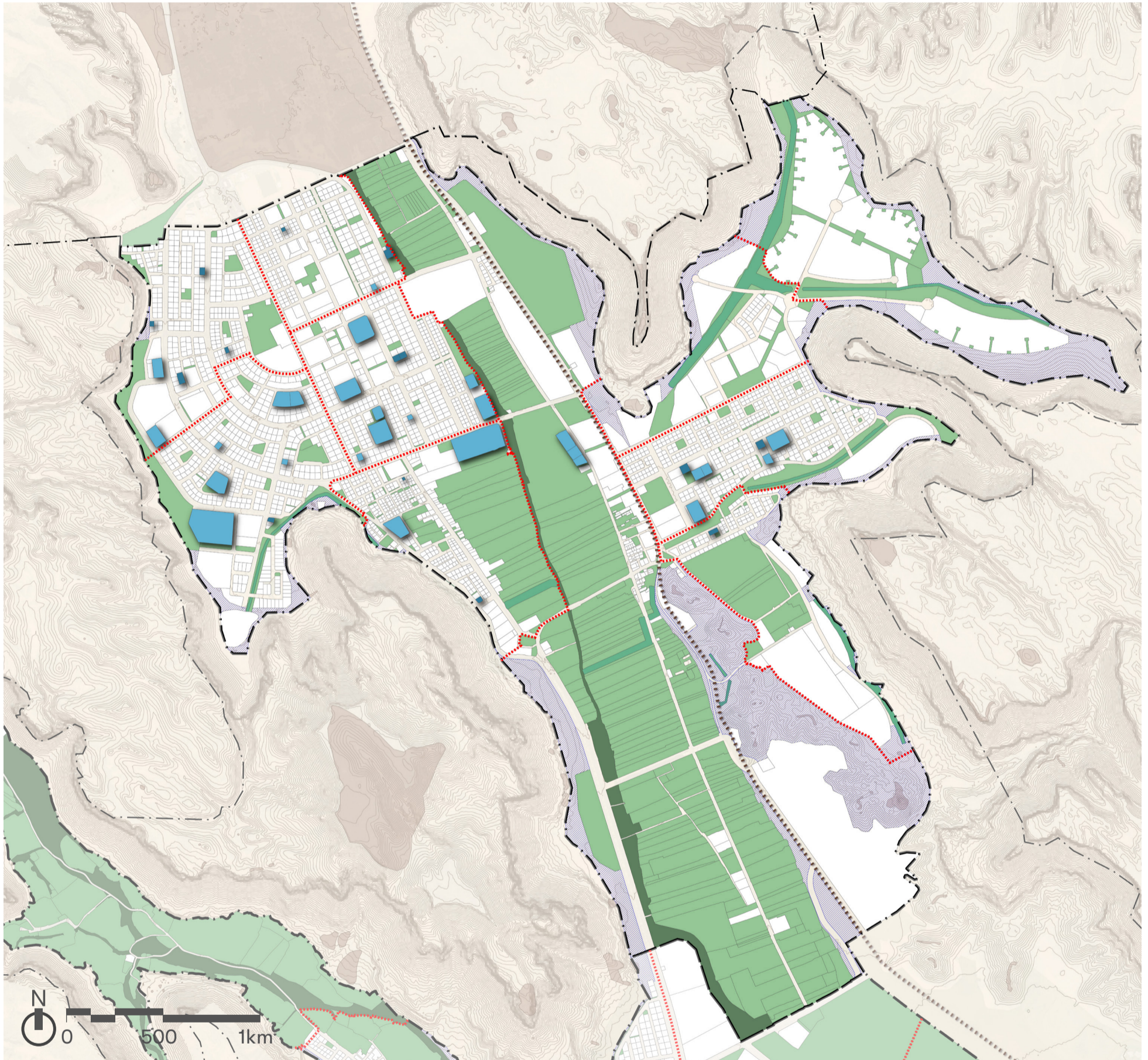
Figure 3: AlUla South Cultural Services Plot Plan and View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

2. Form explorations of the Retail typologies, other variations of the same may be used as long as they adhere to standards outlined for the landuse typology or agreed typologies with RCU.

# 4. Educational Facilities Design Requirements

AIUla Central Educational Services Land Use Plan

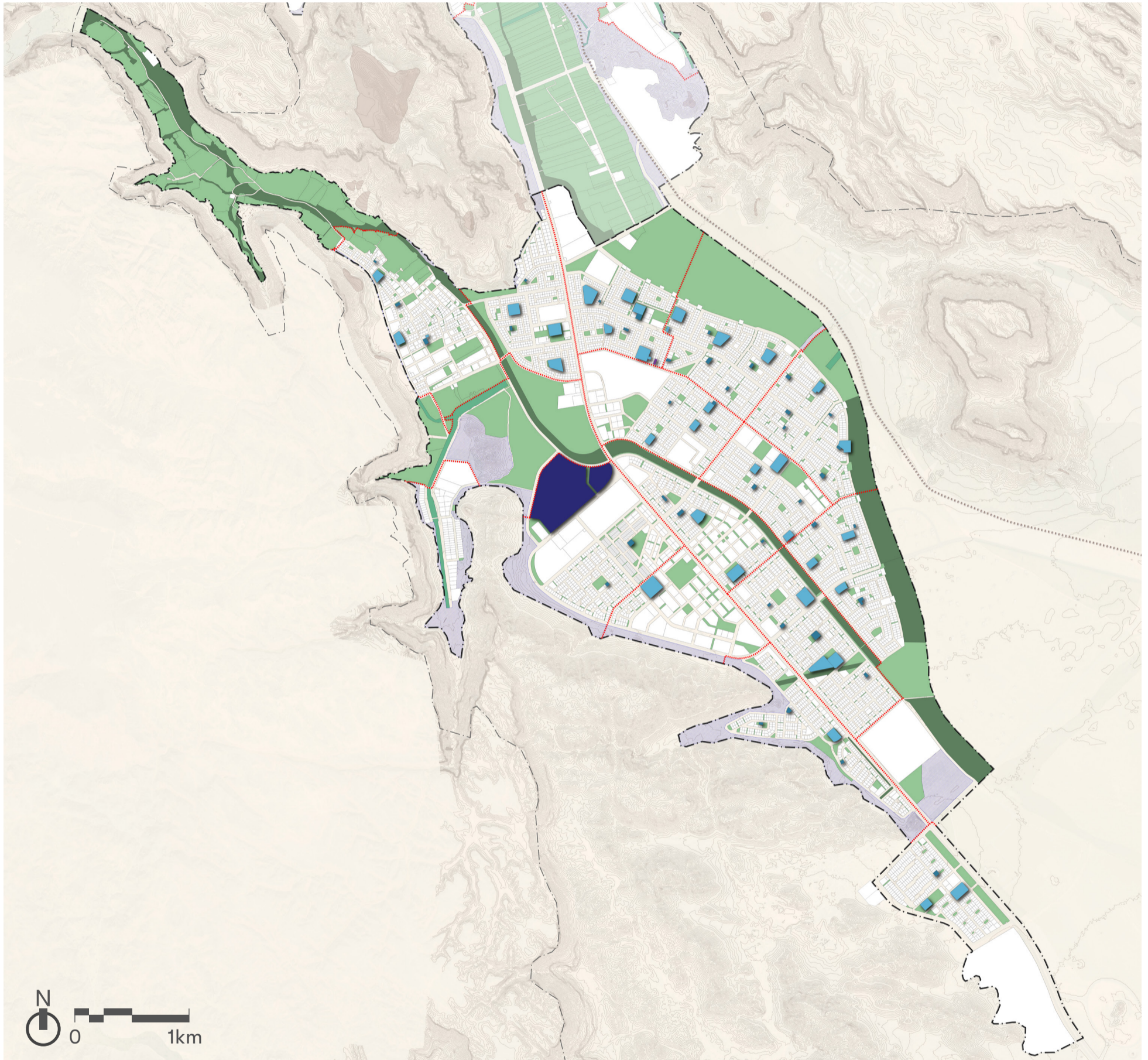


**LEGEND**

- ED1-Kindergarten
- ED2-School
- ED3-University
- ED4-Special Institute
- WA-Wadi
- Open Space and Farms
- EN1-No build Zones
- Plots



### AlUla South Educational Services Land Use Plan



**LEGEND**

- ED1-Kindergarten
- ED2-School
- ED3-University
- ED4-Special Institute
- WA-Wadi

- Open Space and Farms
- EN1-No build Zones
- Plots

# Educational Facilities Design Requirements

## Category ED1: KINDERGARTEN

Description - The Kindergarten (ED1) landuse covers all nurseries and early learning centres planned in proximity to the Urban SEEDs.

### Development Requirements

#### Uses

Land use Level 1	Education Facilities
Land use Level 2	Kindergartens
Permitted Uses	<ul style="list-style-type: none"> <li>• Educational Uses</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>• All commercial, residential and industrial uses</li> </ul>
Conditional Uses	<ul style="list-style-type: none"> <li>• Private Cafeteria</li> </ul>
Ancillary Uses	<ul style="list-style-type: none"> <li>• Guard House</li> <li>• Administrative Buildings</li> <li>• Uniform/Book shop</li> </ul>
Average Plot Size	1,000 sqm

#### Coverage

Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	1.0

#### Building

Maximum Height (Roof Line)	15.2 metres (including maximum 1.2m parapet), 3 storeys
Maximum Height for Accessory Buildings	N/A
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines - Central and South AIUla.

#### Building Setback (Minimum)

Main Building	Front - 6 m; Side 3m to 6m and Rear - 6m
Basement Setback	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
Ancillary Building	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
Building to Building Setback Between Multiple Buildings on same lot	<ul style="list-style-type: none"> <li>• N/A</li> </ul>

#### Service Areas and Equipment

Loading Docks	<ul style="list-style-type: none"> <li>• Loading docks, if any, shall be located to the rear of the building.</li> <li>• Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses</li> </ul>
Outdoor Storage Area	<ul style="list-style-type: none"> <li>• No outdoor storage shall be allowed</li> </ul>
Refuse Storage Areas	<ul style="list-style-type: none"> <li>• Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.</li> </ul>
Mechanical Equipment	<ul style="list-style-type: none"> <li>• At grade water tank and mechanical equipment: Shall be located to the side or rear of the building</li> <li>• At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities</li> </ul>

#### Parking

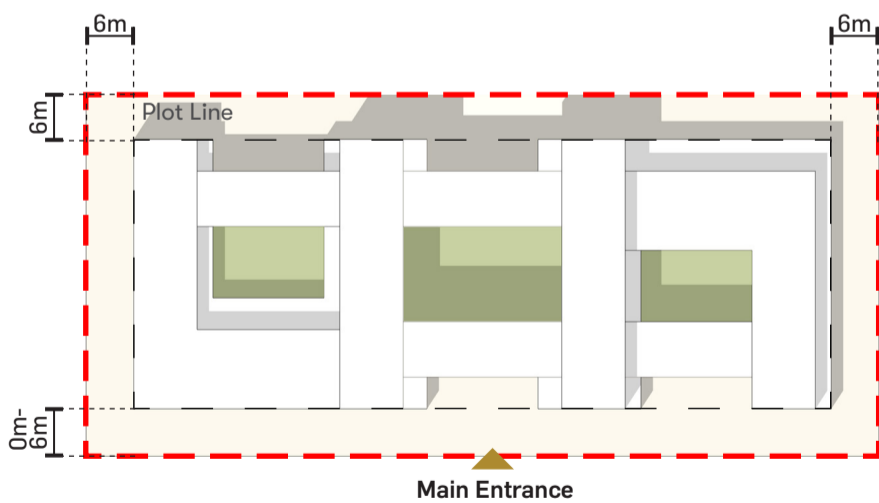
Parking Rate	1 parking space per 30 pupil (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AIUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary or the designated parking space within the public car parks



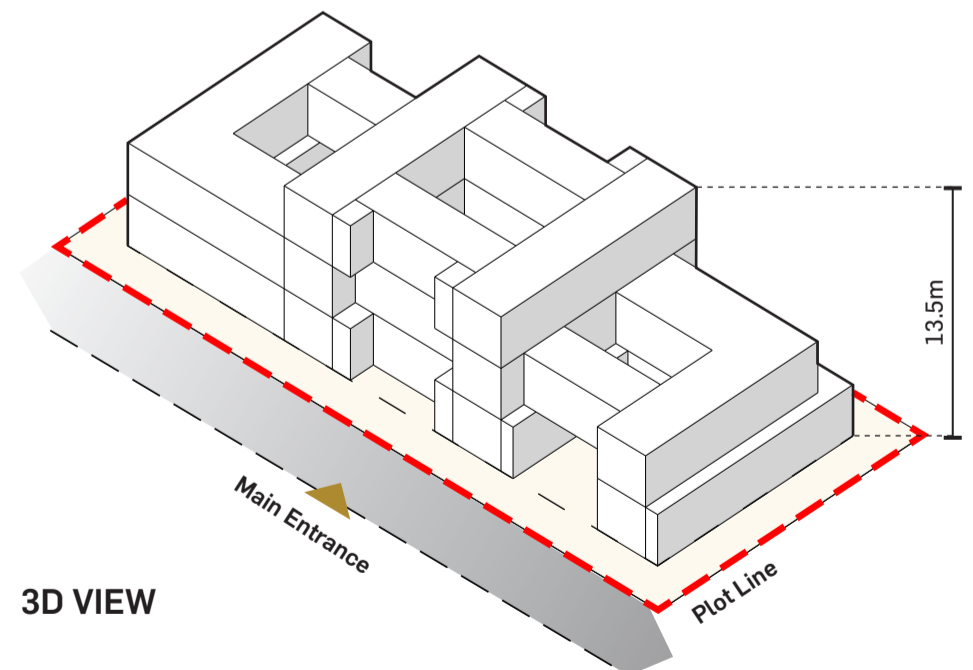
## Development Requirements

### Fencing and Walls)

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



PLAN



3D VIEW

Figure 4: Kindergarten Plan and View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

2. Form explorations of the Retail typologies, other variations of the same may be used as long as they adhere to standards outlined for the landuse typology or agreed typologies with RCU.

# Educational Facilities Design Requirements

## Category ED2: SCHOOL

Description - The School (ED2) landuse covers all school typologies and provides general guidance on their design. In terms of architectural features, guidance from chapter 7 shall be adopted.

Development Requirements	
Uses	
Land use Level 1	Education Facilities
Land use Level 2	School
Permitted Uses	• Educational Uses
Prohibited Uses	• All commercial, residential and industrial uses
Conditional Uses	• Private Cafeteria
Ancillary Uses	• Guard House • Administrative Buildings • Uniform/Book shop
Average Plot Size	3,000 sqm
Coverage	
Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	0.8
Building	
Maximum Height (Roof Line)	15.2metres (including maximum 1.2m parapet), 3 storeys
Maximum Height for Accessory Buildings	N/A
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines - Central and South AIUIa.
Building Setback (Minimum)	
Main Building	Front - 6 m; Side 6m and Rear - 6m
Basement Setback	• N/A
Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• N/A
Service Areas and Equipment	
Loading Docks	• Loading docks, if any, shall be located to the rear of the building. • Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses
Outdoor Storage Area	• No outdoor storage shall be allowed
Refuse Storage Areas	• Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	• At grade water tank and mechanical equipment: Shall be located to the side or rear of the building • At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities
Parking	
Parking Rate	1 parking space per 6 pupil (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AIUIa Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary or the designated parking space within the public car-parks

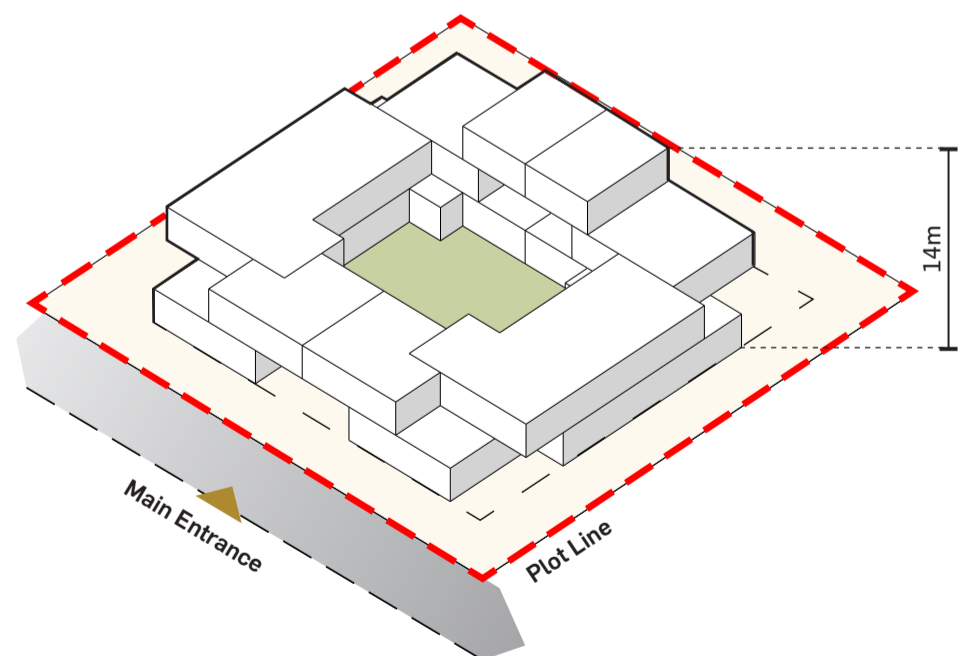
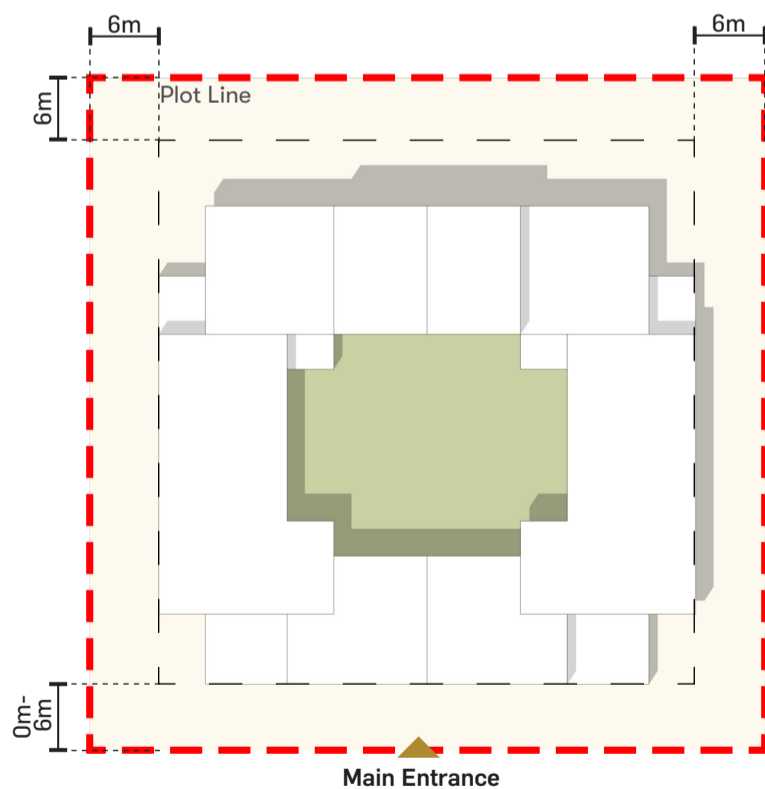




## Development Requirements

### Fencing and Walls

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



### PLAN

Figure 5: AlUla Example School Plan and View

### 3D VIEW

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

2. Form explorations of the Retail typologies, other variations of the same may be used as long as they adhere to standards outlined for the landuse typology or agreed typologies with RCU.

# Educational Facilities Design Requirements

## Category ED3 & ED4: UNIVERSITIES & SPECIAL INSTITUTES

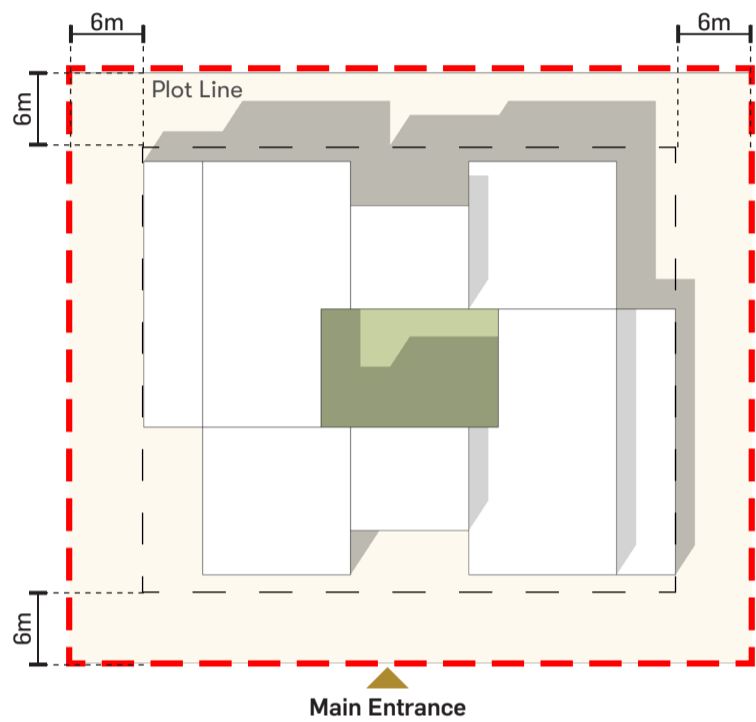
Description - Universities and Special Institutes (ED3 & ED4) landuse is planned in AIUla South district in proximity to the ERBA. The architecture for these projects should undergo the RCU's Design Review Panel process and shall adhere to the architectural design guidelines.

Development Requirements	
Uses	
Land use Level 1	Education Facilities
Land use Level 2	University
Permitted Uses	<ul style="list-style-type: none"> <li>Educational Uses</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>All commercial, residential and industrial uses</li> </ul>
Conditional Uses	<ul style="list-style-type: none"> <li>Private Cafeteria, staff accommodation, student accommodation</li> </ul>
Ancillary Uses	<ul style="list-style-type: none"> <li>Guard House</li> <li>Administrative Buildings</li> <li>Uniform/Book shop</li> </ul>
Average Plot Size	3,000 sqm
Coverage	
Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	0.8
Building	
Maximum Height (Roof Line)	15.2metres (including maximum 1.2m parapet), 3 storeys
Maximum Height for Accessory Buildings	N/A
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines - Central and South AIUla.
Building Setback (Minimum)	
Main Building	Front - 6 m; Side 6m and Rear - 6m
Basement Setback	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Ancillary Building	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Building to Building Setback Between Multiple Buildings on same lot	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Service Areas and Equipment	
Loading Docks	<ul style="list-style-type: none"> <li>Loading docks, if any, shall be located to the rear of the building.</li> <li>Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses</li> </ul>
Outdoor Storage Area	<ul style="list-style-type: none"> <li>No outdoor storage shall be allowed</li> </ul>
Refuse Storage Areas	<ul style="list-style-type: none"> <li>Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.</li> </ul>
Mechanical Equipment	<ul style="list-style-type: none"> <li>At grade water tank and mechanical equipment: Shall be located to the side or rear of building</li> <li>At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities</li> </ul>
Parking	
Parking Rate	1 parking space per 6 pupil (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AIUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary or the designated parking space within the public car parks

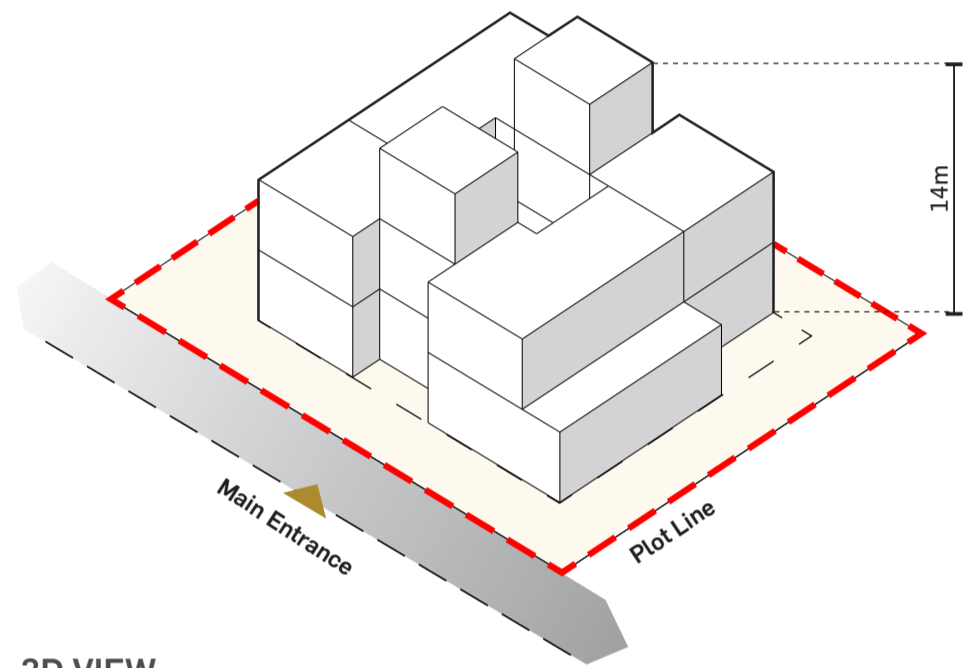
## Development Requirements

### Fencing and Walls)

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



PLAN



3D VIEW

Figure 7: Special Institute Plan and View

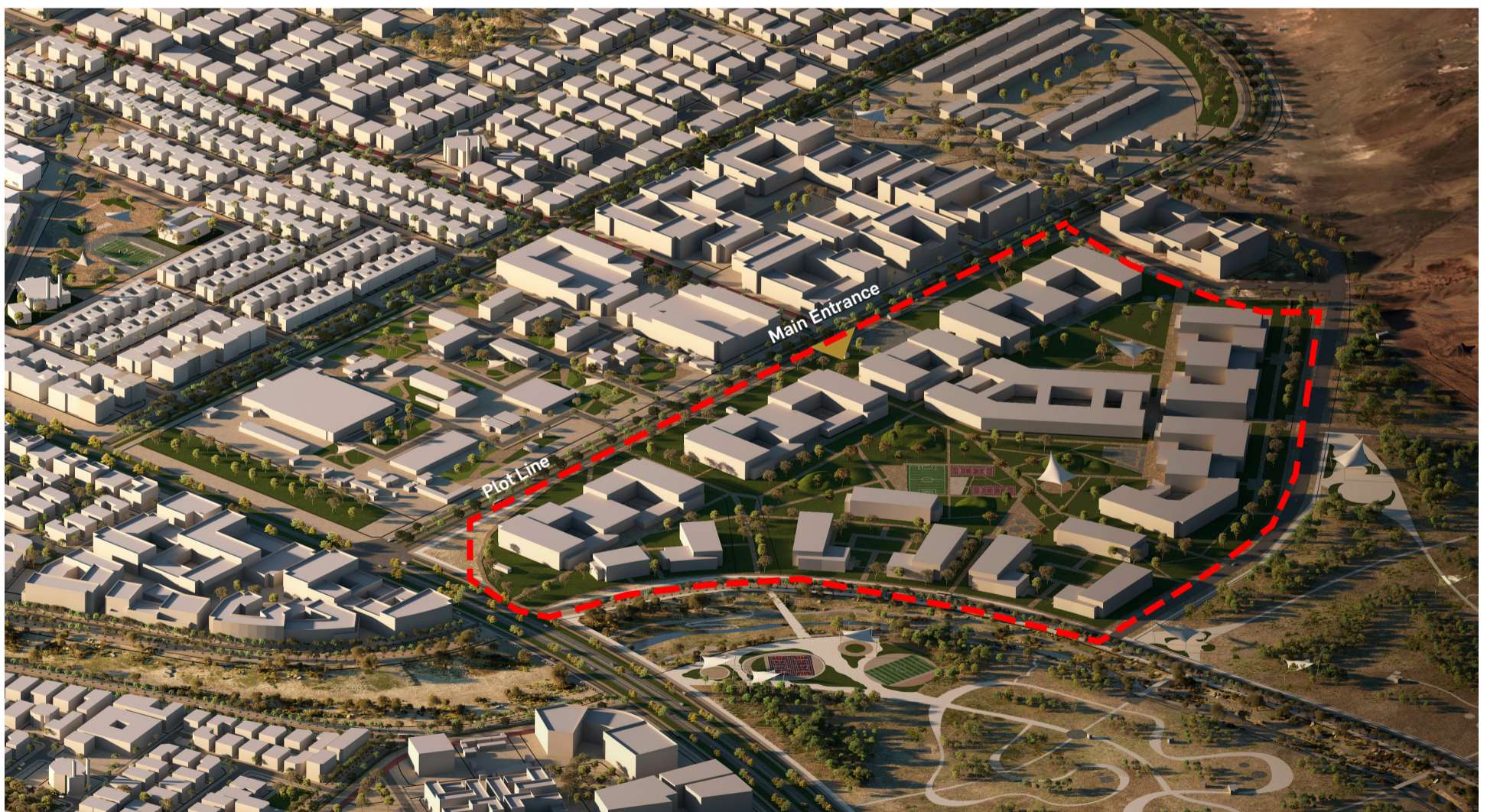


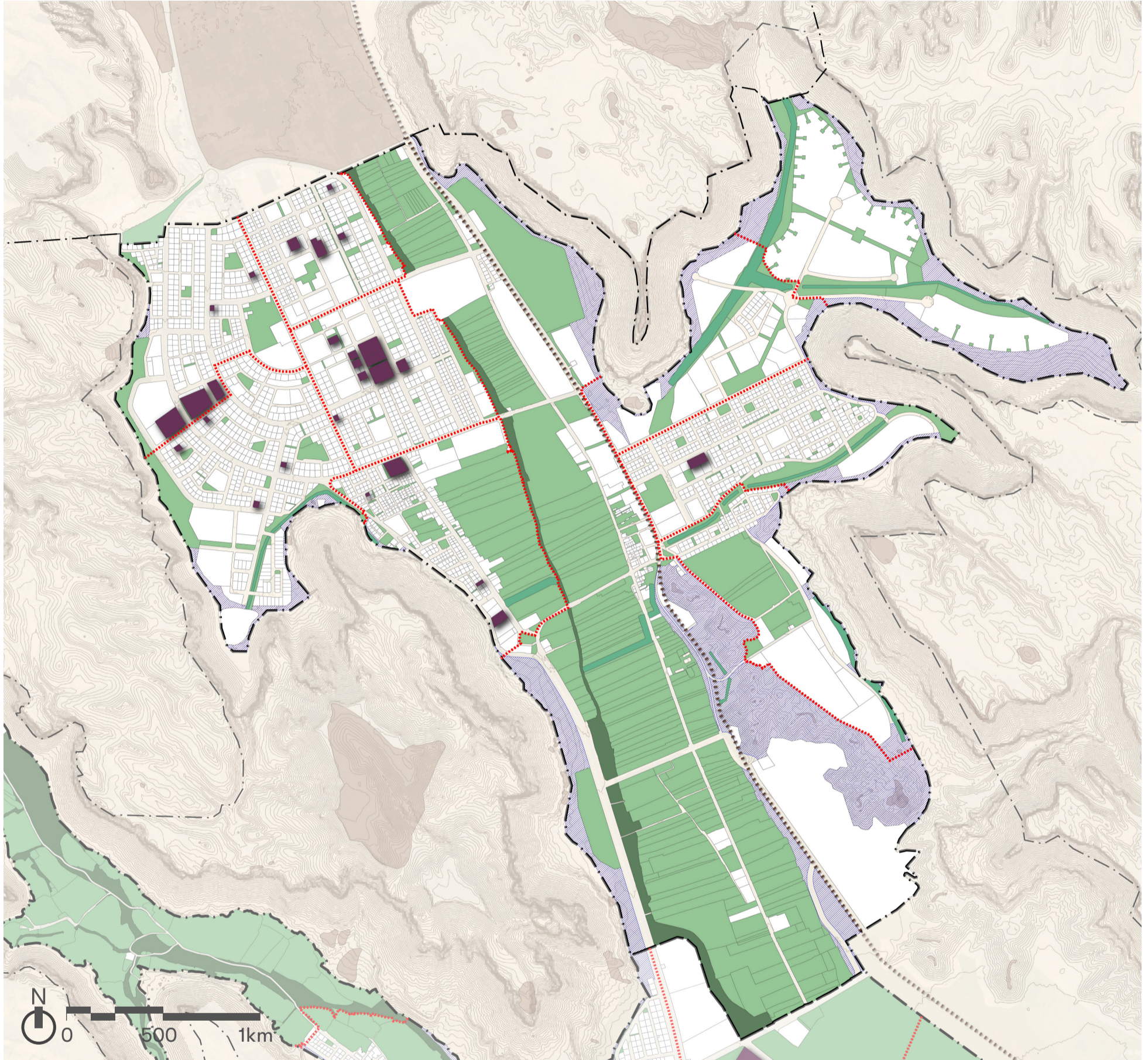
Figure 6: AIUla University View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

2. Form explorations of the Retail typologies, other variations of the same may be used as long as they adhere to standards outlined for the landuse typology or agreed typologies with RCU.

# 5. Government Facilities Design Requirements

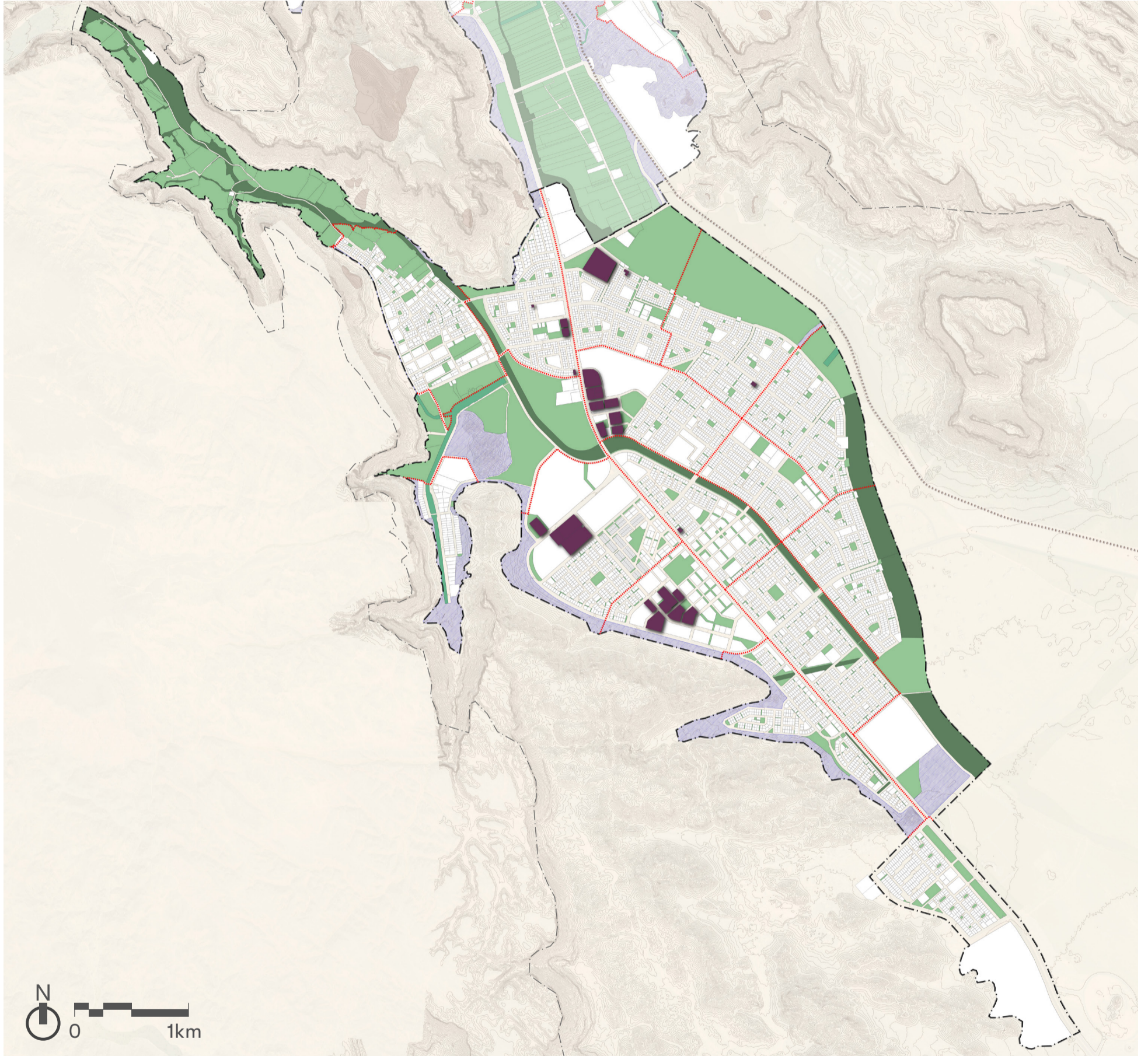
AIUla Central Government Facilities Land Use Plan



- LEGEND**
- GS1-Government Offices
  - WA-Wadi
  - Open Space and Farms
  - EN1-No build Zones
  - Plots



### AlUla South Government Facilities Land Use Plan



- LEGEND**
- GS1-Government Offices
  - WA-Wadi
  - Open Space and Farms
  - EN1-No build Zones
  - Plots

# Government Facilities Design Requirements

## Category GS: GOVERNMENT OFFICES

Description - The Government Services Land use (GS) refers to all government owned plots designation for government offices. In addition to these uses, the Government service landuse also includes city supporting uses such as Civil Defence, Police Station, Special Forces, Traffic Department Unit and Post office.

Individual authority design requirements shall superseded the guidelines provided in the below table and should be presented to RCU for approval.

Development Requirements	
Uses	
Land use Level 1	Commercial Services - Office
Land use Level 2	Government Office
Permitted Uses	<ul style="list-style-type: none"> <li>Government Offices</li> <li>Civic Services</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>Industrial uses</li> <li>Major infrastructure</li> </ul>
Conditional Uses	<ul style="list-style-type: none"> <li>Standalone food outlet with less than 50 seats</li> <li>Public facilities</li> </ul>
Ancillary Uses	<ul style="list-style-type: none"> <li>Car parking garage</li> <li>Guard house</li> <li>Store rooms</li> </ul>
Average Plot Size	4,000 sqm
Coverage	
Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	1.0
Building	
Maximum Height (Roof Line)	15.2m (metres) (including maximum 1.2m parapet), 3 Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	N/A
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines - Central and South AIUIa.
Building Form	Detached
Building Setback (Minimum)	
Main Building	Front - 6 m; Side 6m and Rear - 6m
Basement Setback	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Ancillary Building	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Building to Building Setback Between Multiple Buildings on same lot	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Service Areas and Equipment	
Loading Docks	<ul style="list-style-type: none"> <li>Loading docks, if any, shall be located to the rear of the building.</li> <li>Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses</li> </ul>
Outdoor Storage Area	<ul style="list-style-type: none"> <li>No outdoor storage shall be allowed</li> </ul>
Refuse Storage Areas	<ul style="list-style-type: none"> <li>Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.</li> </ul>



## Development Requirements

### Mechanical Equipment

- At grade water tank and mechanical equipment: Shall be located to the side or rear of the building
- At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

## Parking

### Parking Rate

1 parking space per 25sqm GFA (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan). Visitor parking can be accommodated in the designated common parking spaces upon agreement with RCU.

### Parking Location

Required parking stalls shall be provided within the lot boundary

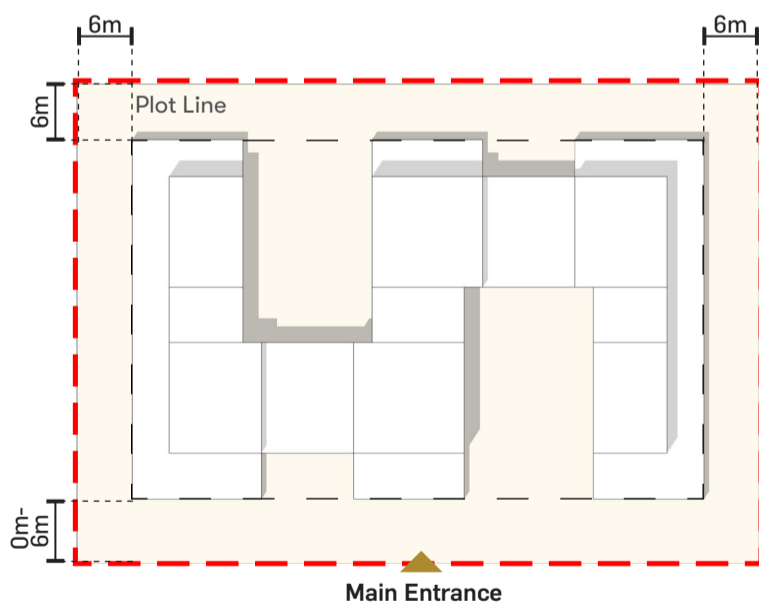
## Fencing and Walls

### Location

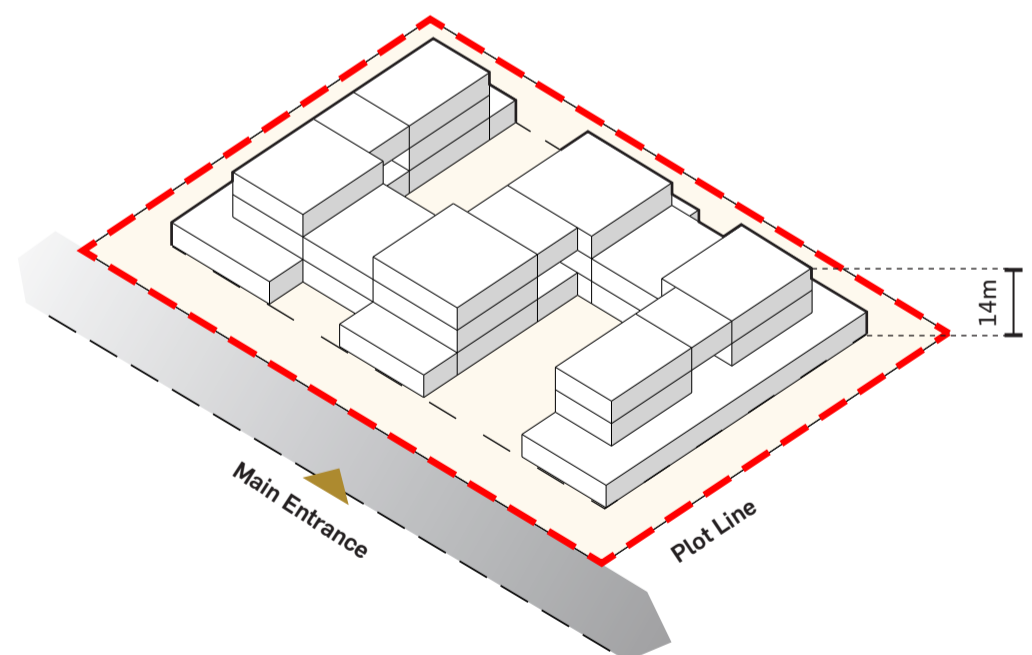
Discouraged (Only for certain offices as required by the relevant authority)

### Height of Boundary wall

2m all around



PLAN



3D VIEW

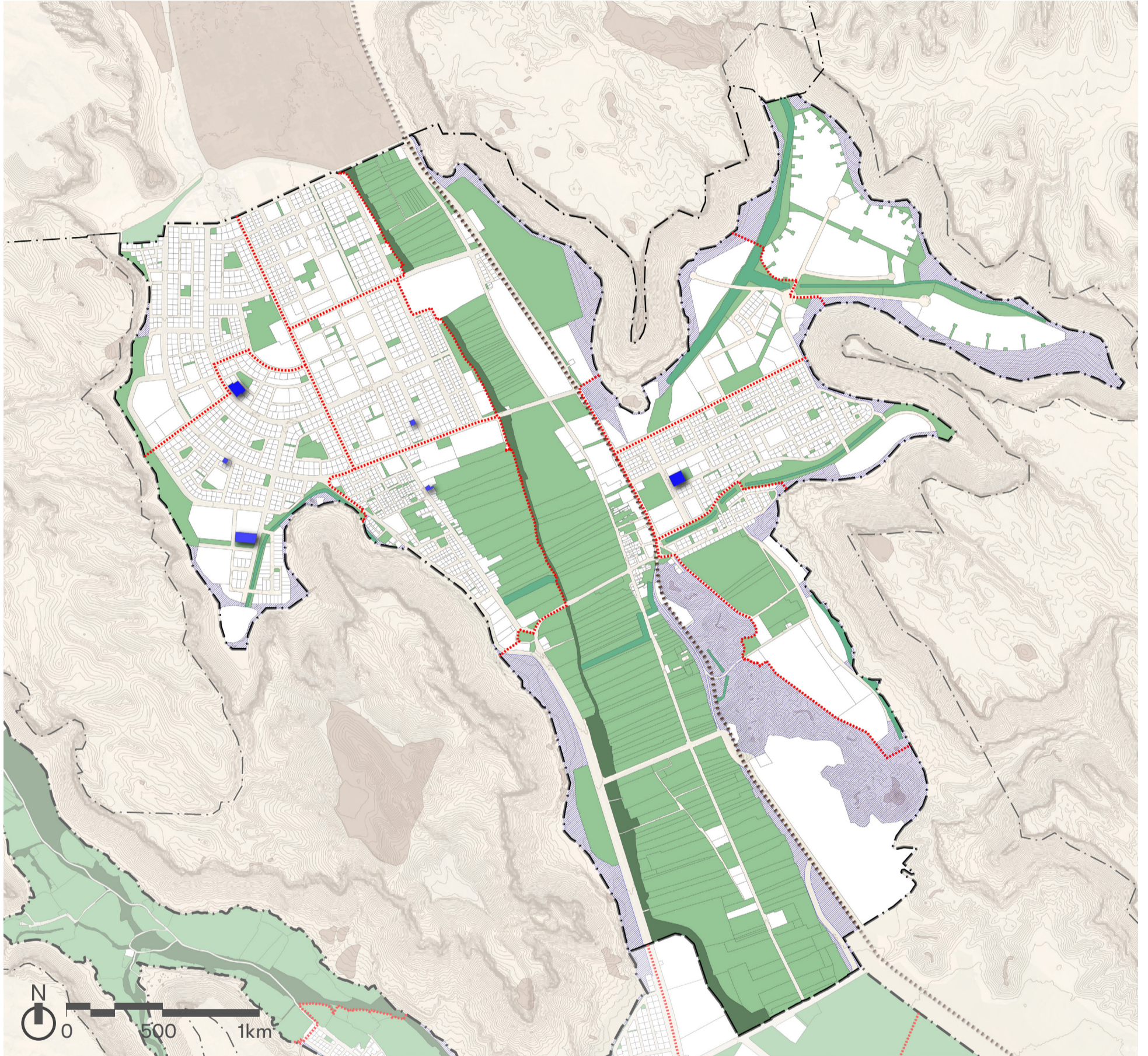
Figure 8: AlUla South Support Services (Medium) Plan and View

**Notes:** 1. Please note these guidelines are an extract from the AlUla Central and South Detailed Master Plan Guidelines Document.

2. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels

# 6. Healthcare Facilities Design Requirements

AIUla Central Healthcare Facilities Land Use Plan

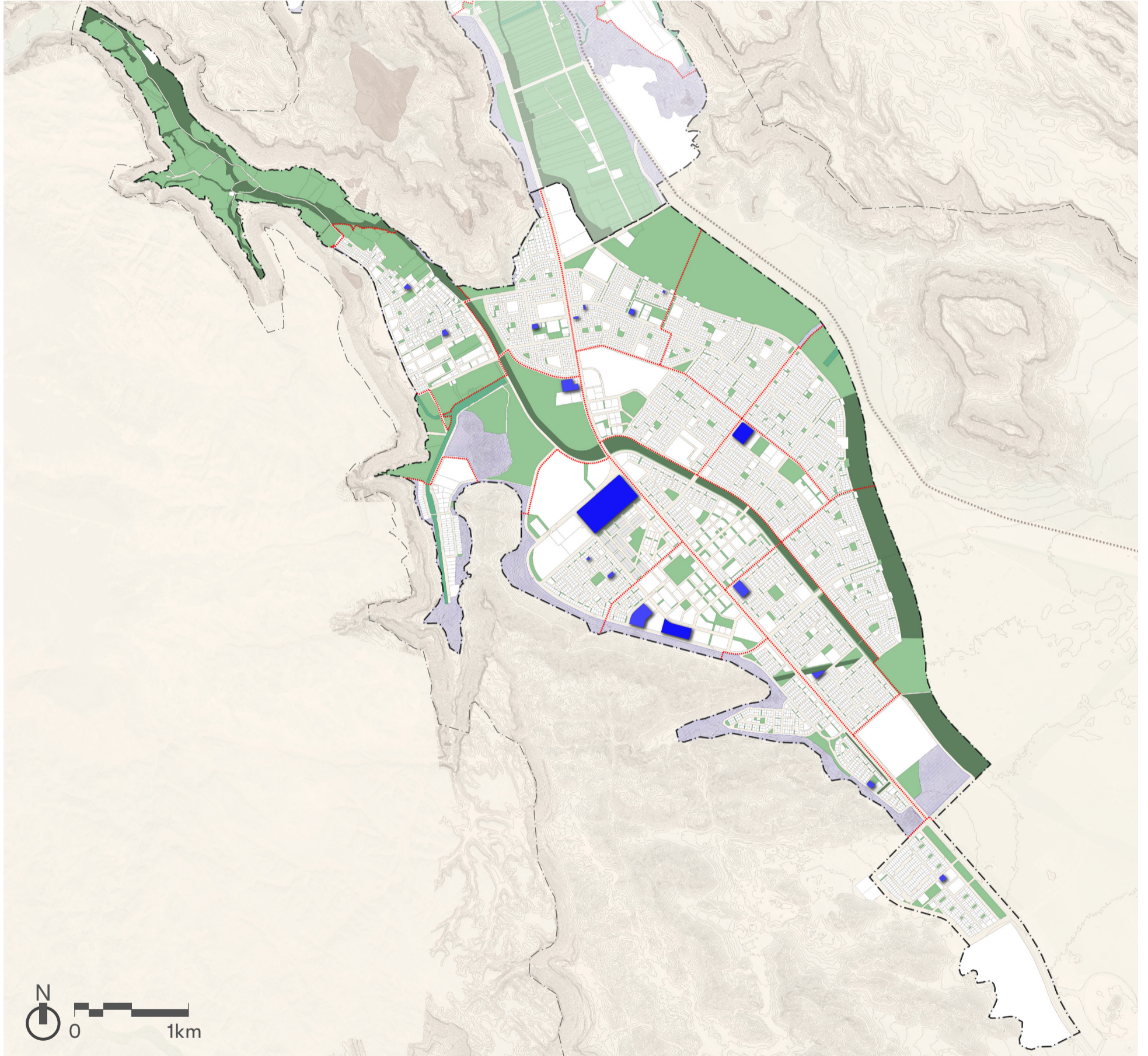


- LEGEND**
- HF1-Hospital
  - HF2-Health Centre/Clinic
  - WA-Wadi
  - Open Space and Farms
  - EN1-No build Zones
  - Plots





### AlUla South Healthcare Facilities Land Use Plan



- LEGEND**
- HF1-Hospital
  - HF2-Health Centre/Clinic
  - WA-Wadi
  - Open Space and Farms
  - EN1-No build Zones
  - Plots

# Healthcare Facilities Design Requirements

## Category HF1 & HF2: HOSPITALS AND HEALTHCARE CENTRES

Description - The Hospital (HF1) and Healthcare Centres (HF2) are civic land uses dedicated to health services. As these are important city assets, Their building design should be submitted to the RCU's Design Review Panel for revision. The below table only provides general guidance of such development.

Development Requirements	
Uses	
Land use Level 1	Healthcare Facilities
Land use Level 2	Hospital and Healthcare Centres
Permitted Uses	<ul style="list-style-type: none"> <li>Healthcare uses</li> <li>Staff accommodation</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>Industrial uses</li> <li>Major infrastructure</li> </ul>
Conditional Uses	<ul style="list-style-type: none"> <li>Standalone food outlet with less than 50 seats</li> <li>Public facilities</li> </ul>
Ancillary Uses	<ul style="list-style-type: none"> <li>Car parking garage</li> <li>Guard house</li> <li>Store rooms</li> </ul>
Average Plot Size	N/A
Coverage	
Maximum Plot Coverage	70%
Minimum Landscape Coverage	10%
Maximum FAR	1.2
Building	
Maximum Height (Roof Line)	19.2 meters (including maximum 1.2m parapet), 4 storeys
Basement	2
Maximum Height for Accessory Buildings	4m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines - Central and South AIUIa.
Building Form	Detached
Building Setback (Minimum)	
Main Building	Front - 6 m; Side 6m and Rear - 6m
Basement Setback	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Ancillary Building	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Building to Building Setback Between Multiple Buildings on same lot	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Service Areas and Equipment	
Loading Docks	<ul style="list-style-type: none"> <li>Loading docks, if any, shall be located to the rear of the building.</li> <li>Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses</li> </ul>
Outdoor Storage Area	<ul style="list-style-type: none"> <li>No outdoor storage shall be allowed</li> </ul>
Refuse Storage Areas	<ul style="list-style-type: none"> <li>Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.</li> </ul>
Mechanical Equipment	<ul style="list-style-type: none"> <li>At grade water tank and mechanical equipment: Shall be located to the side or rear of the building</li> <li>At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities</li> </ul>

## Development Requirements

### Parking

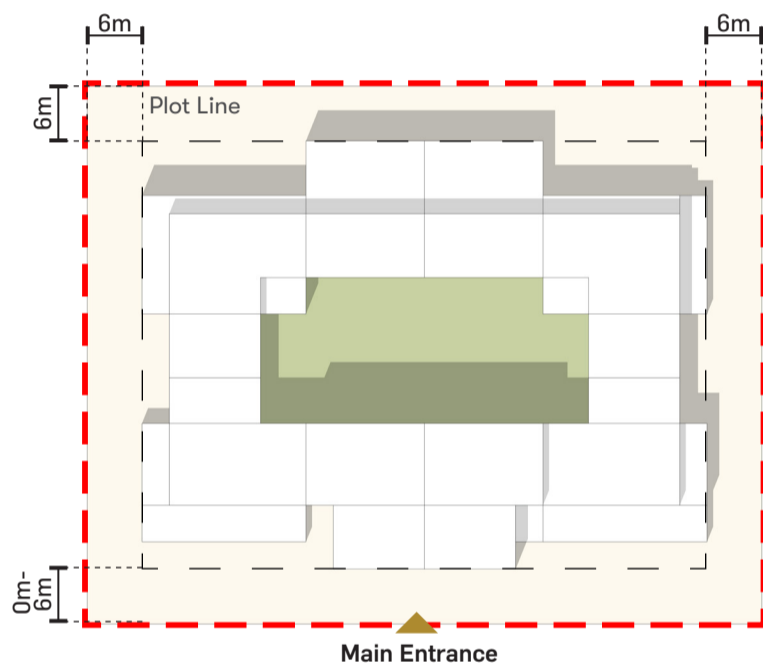
**Parking Rate** 1 parking space per 150sqm GFA (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)

**Parking Location** Required parking stalls shall be provided within the lot boundary

### Fencing and Walls

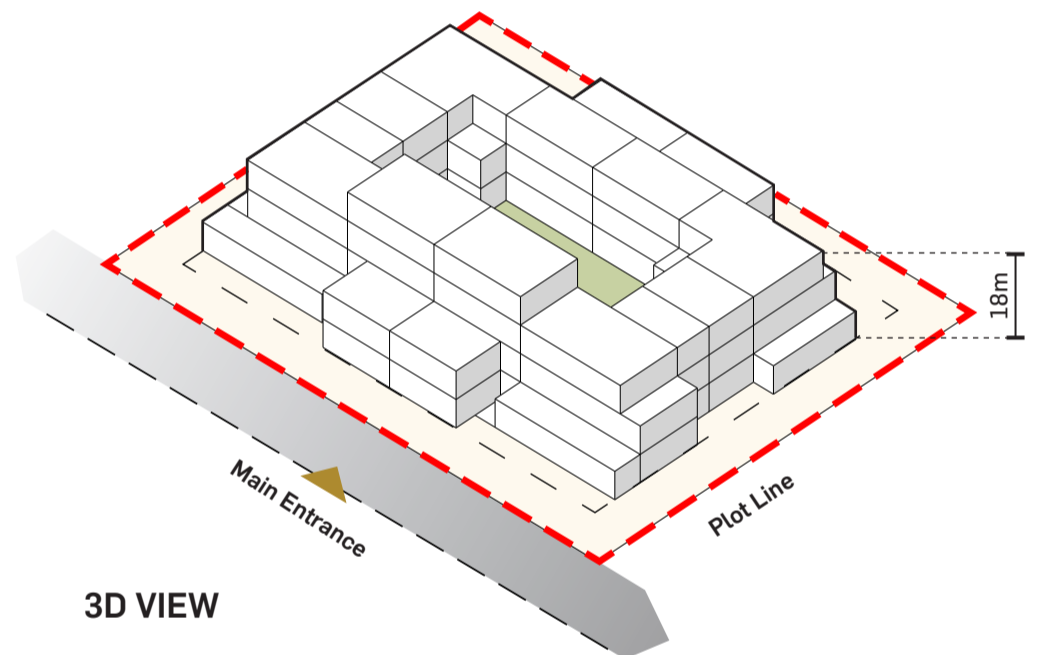
**Location** Conditional for Hospitals and not permitted for Clinics

**Height of Boundary wall** 2m (Front max.), 2.5m (Side and Rear max.)



**PLAN**

Main Entrance



**3D VIEW**

Figure 9: AlUla Healthcare Facilities Plan and View



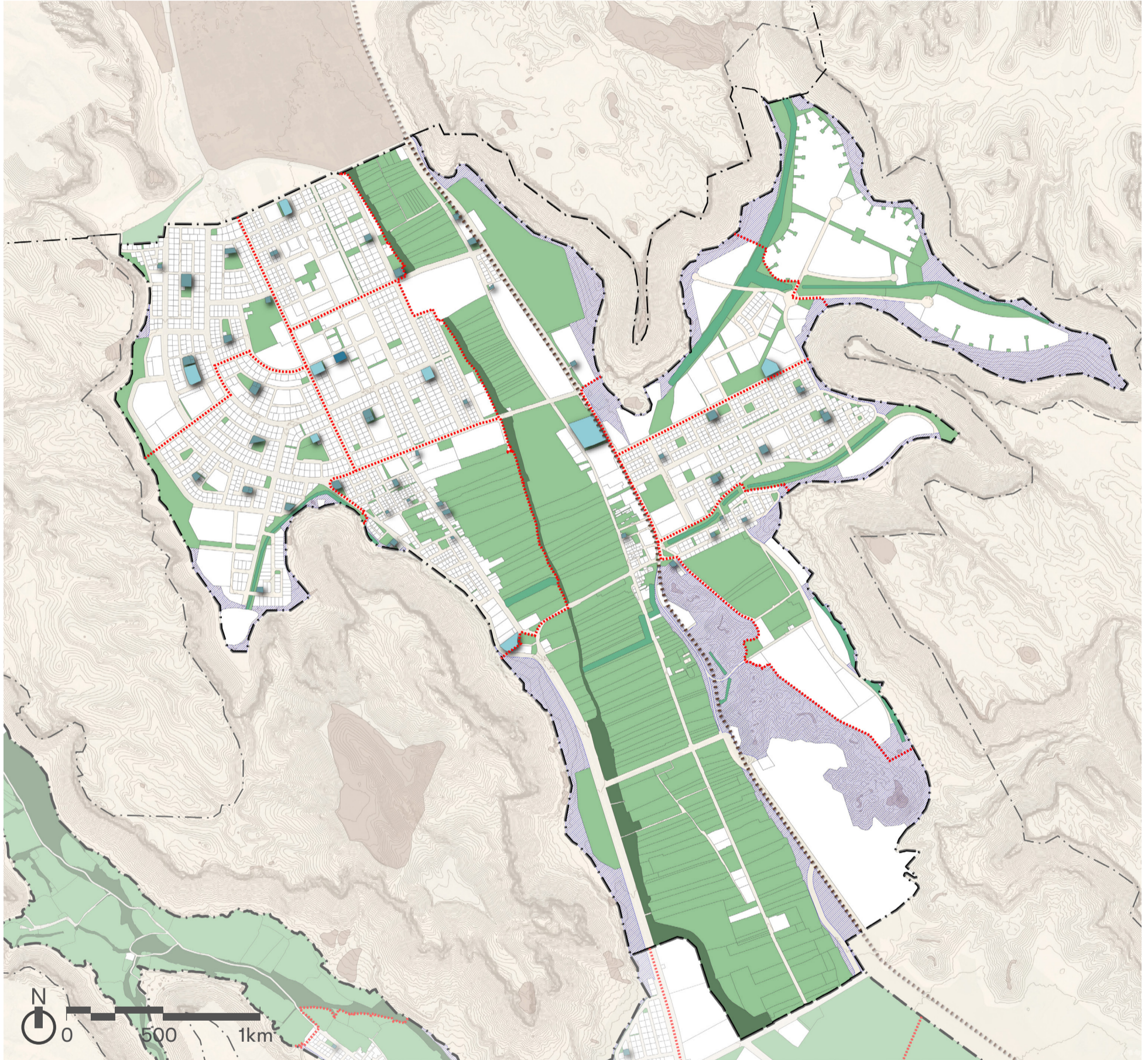
Figure 10: AlUla South Hospital Aerial View

**Notes:** 1. Please note these guidelines are an extract from the AlUla Central and South Detailed Master Plan Guidelines Document.

2. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels

# 7. Religious Facilities Design Requirements

AIUla Central Religious Facilities Land Use Plan

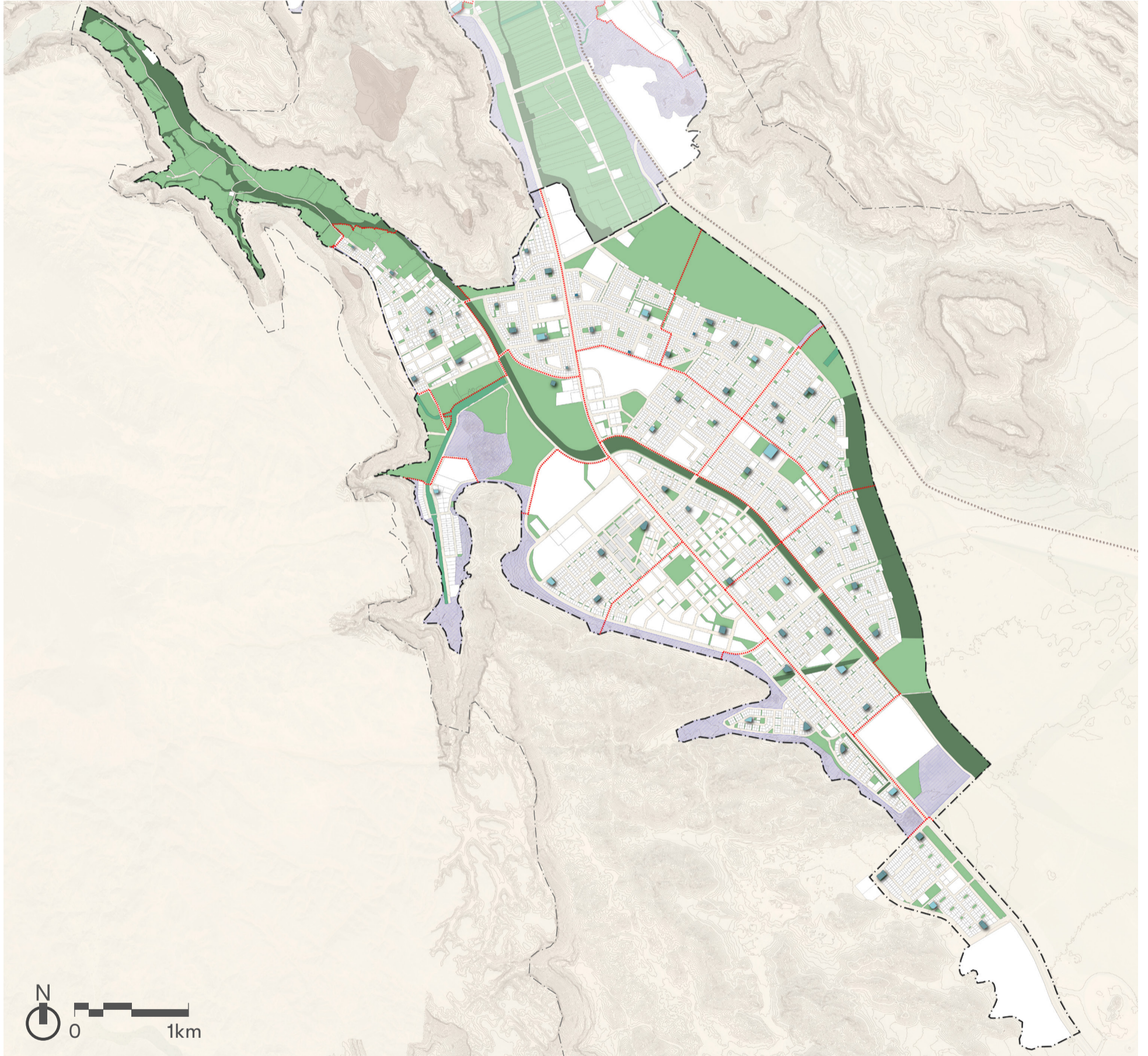


**LEGEND**

- |                      |                      |
|----------------------|----------------------|
| RF1-Juma Mosque      | Open Space and Farms |
| RF2-Local Mosque     | EN1-No build Zones   |
| RF3-Other Facilities | Plots                |
| WA-Wadi              |                      |



### AlUla South Religious Facilities Land Use Plan



**LEGEND**

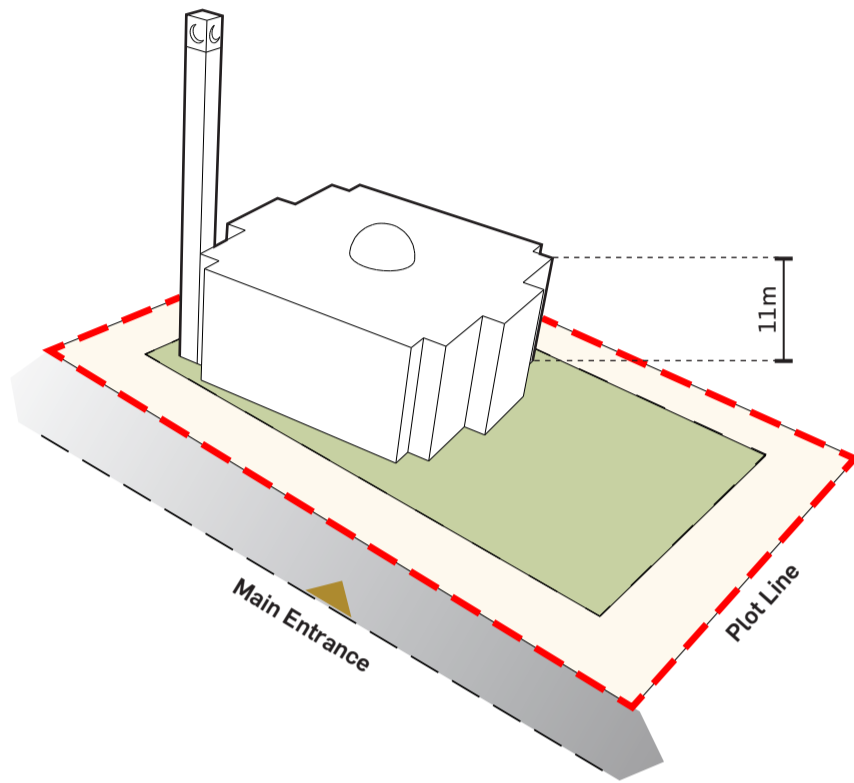
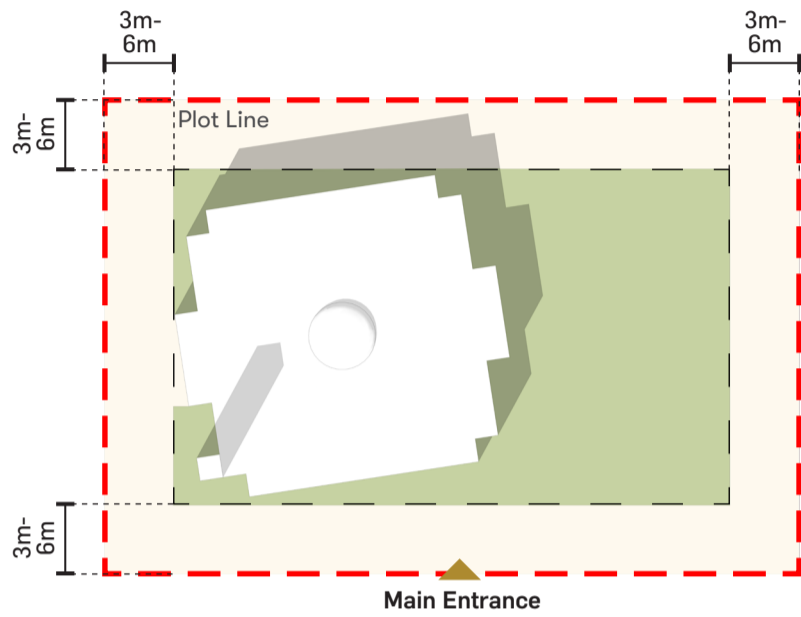
- |                      |                      |
|----------------------|----------------------|
| RF1-Juma Mosque      | Open Space and Farms |
| RF2-Local Mosque     | EN1-No build Zones   |
| RF3-Other Facilities | Plots                |
| WA-Wadi              |                      |

# Religious Facilities Design Requirements

## Category RF1, RF2, & RF3: JUMA MOSQUE, LOCAL MOSQUES AND OTHER RELIGIOUS FACILITIES

Description - This section only provides general planning guidelines for these critical facilities. All buildings shall adhere to the respective authority standards and requirement for these land uses.

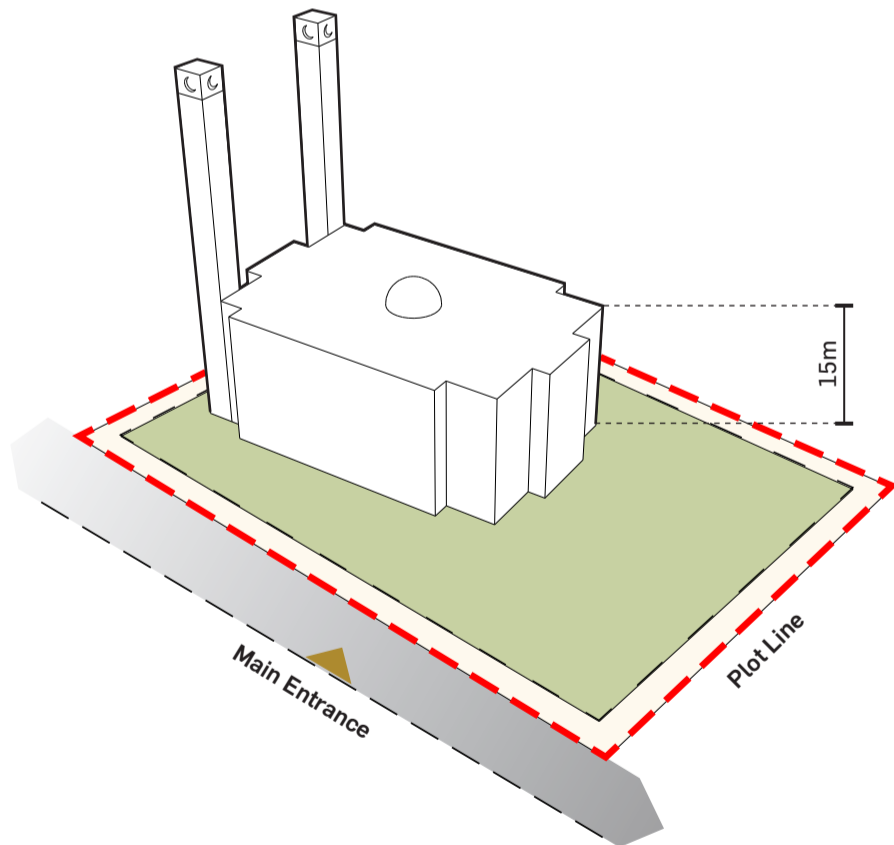
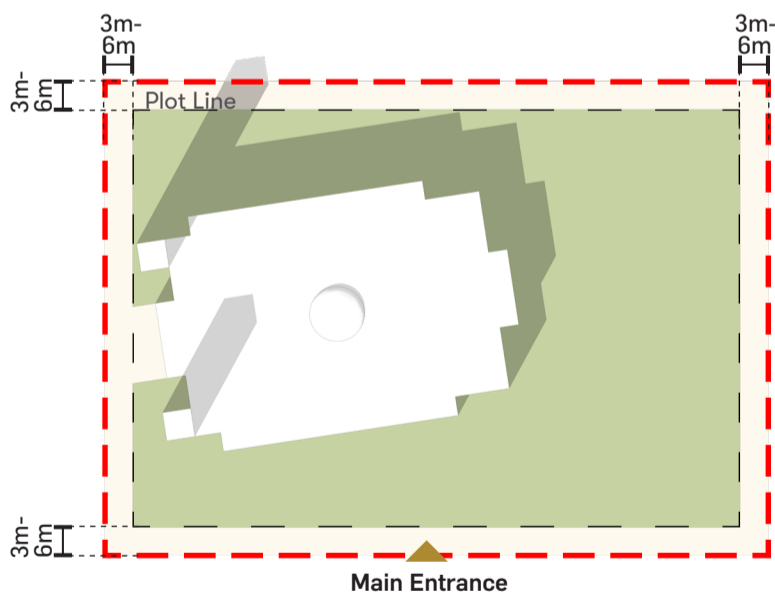
Development Requirements	
Uses	
Land use Level 1	Religious Facilities
Land use Level 2	Juma Mosque, Local Mosque and Other Religious Facilities
Permitted Uses	<ul style="list-style-type: none"> <li>Religious land uses as defined by the Ministry of Interior</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>All other Land uses</li> </ul>
Conditional Uses	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Ancillary Uses	<ul style="list-style-type: none"> <li>Imam Residence</li> <li>Eid Prayer Area</li> </ul>
Average Plot Size	NA
Coverage	
Maximum Plot Coverage	70%
Minimum Landscape Coverage	%
Maximum FAR	0.8
Building	
Maximum Height (Roof Line)	N/A; 1 storey
Maximum Height for Accessory Buildings	4m
Floor to Floor Height	N/A
Building Form	Detached
Building Setback (Minimum)	
Main Building	N/A
Basement Setback	N/A
Ancillary Building	N/A
Building to Building Setback Between Multiple Buildings on same lot	N/A
Service Areas and Equipment	
Loading Docks	<ul style="list-style-type: none"> <li>Loading docks, if any, shall be located to the rear of the building.</li> <li>Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses</li> </ul>
Outdoor Storage Area	<ul style="list-style-type: none"> <li>No outdoor storage shall be allowed</li> </ul>
Refuse Storage Areas	<ul style="list-style-type: none"> <li>Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.</li> </ul>
Parking	
Parking Rate	1 parking space per 5 worshipper for mosques and 1 per 60sqm GFA for other religious land uses (further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AIUla Central and South Infrastructure Master Plan).
Parking Location	Required parking stalls shall be provided in the planned public parking plots.
Fencing and Walls	
Location	Not permitted
Height of Boundary wall	N/A



**PLAN**

Figure 11: Local Mosque Plan and View

**3D VIEW**



**PLAN**

Figure 12: Juma Mosque Plan and View

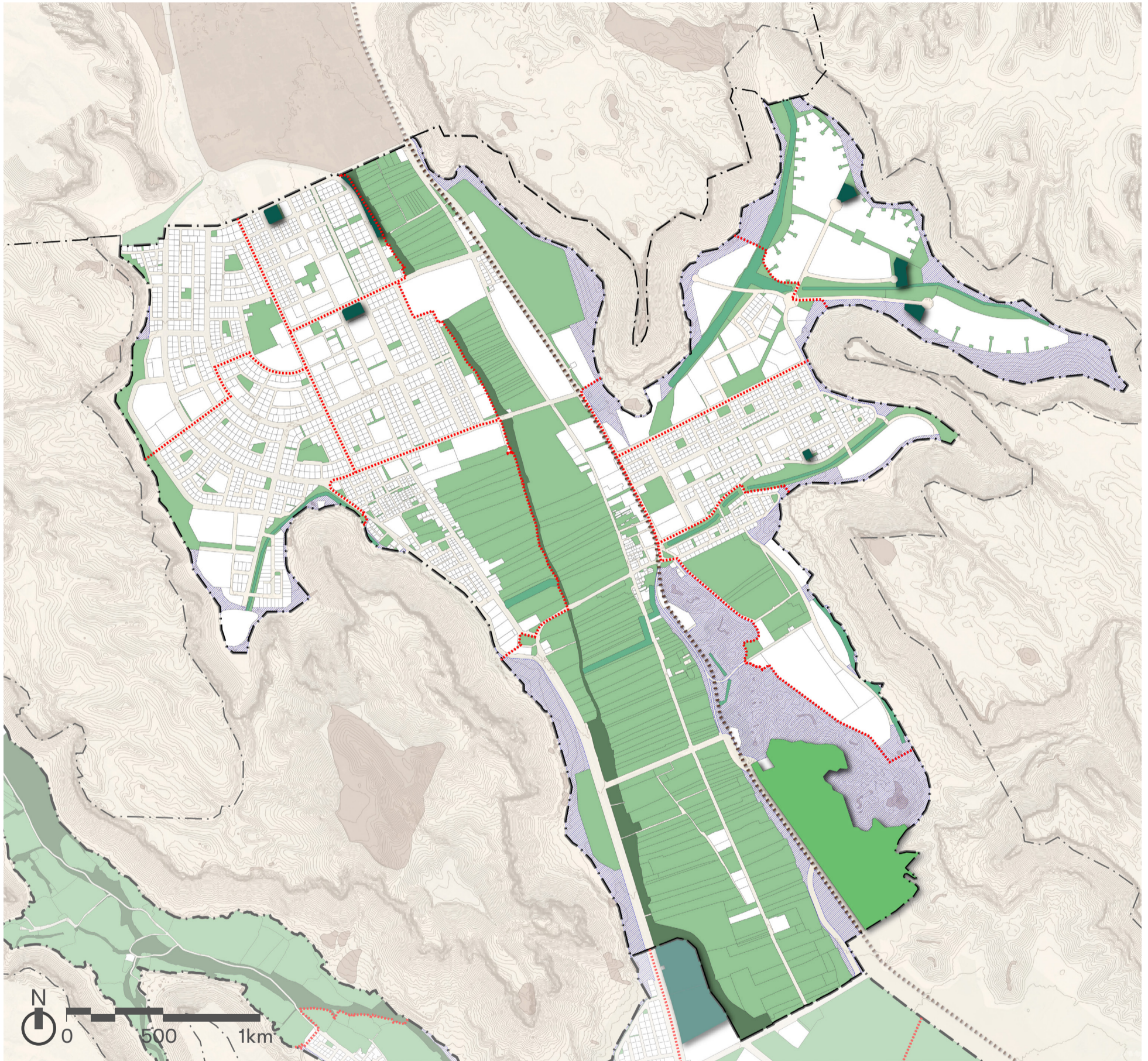
**3D VIEW**

**Notes:** 1. Please note these guidelines are an extract from the AlUla Central and South Detailed Master Plan Guidelines Document.

2. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels

# 8. Recreational Facilities Design Requirements

AIUla Central Recreational Facilities Land Use Plan

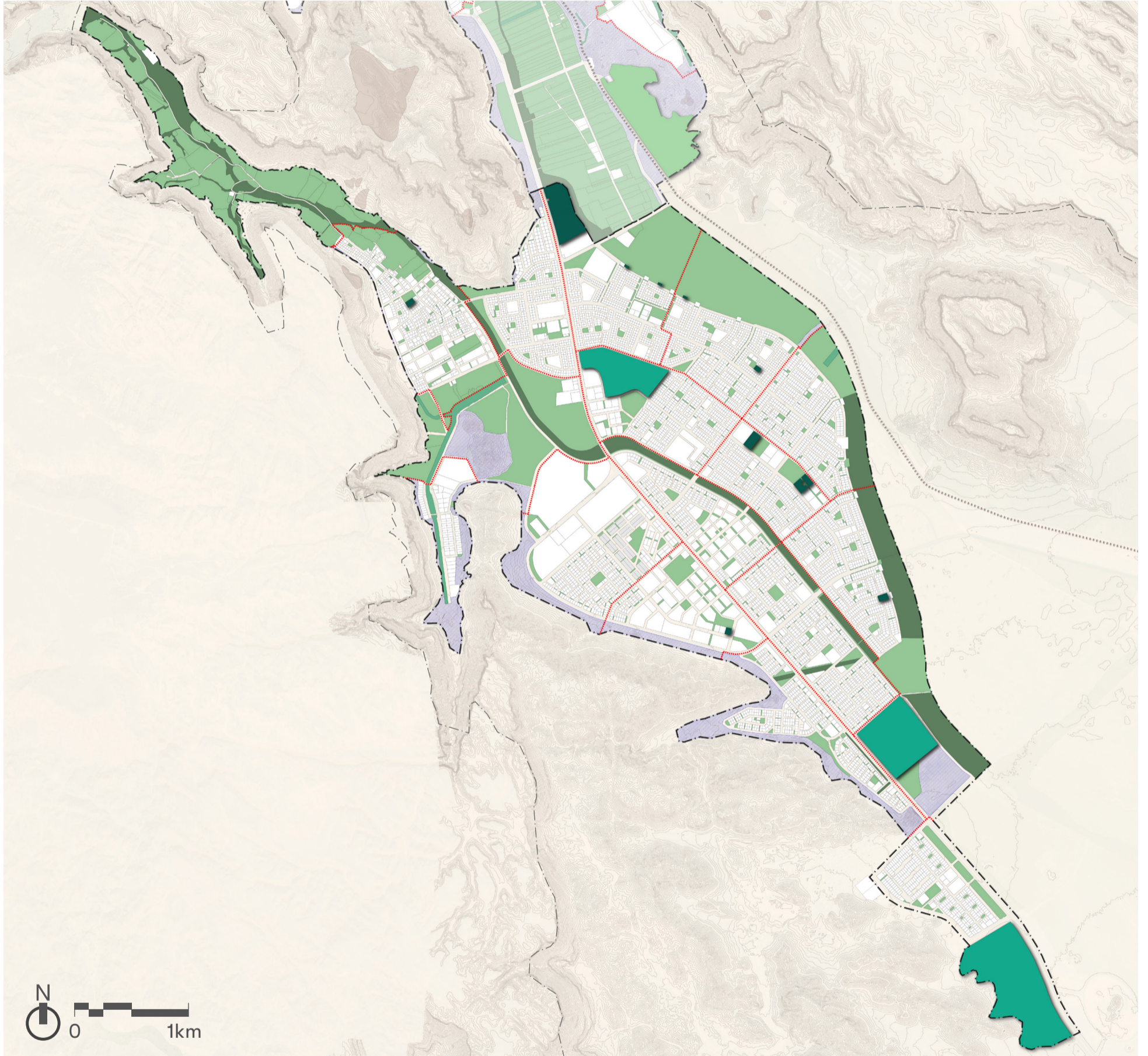


**LEGEND**

- |                        |                      |
|------------------------|----------------------|
| REC1-Stadium           | Open Space and Farms |
| REC2-Sports Centre     | EN1-No build Zones   |
| REC3-Recreational Club | Plots                |
| WA-Wadi                |                      |



### AlUla South Recreational Facilities Land Use Plan



**LEGEND**

- REC1-Stadium
- REC2-Sports Centre
- REC3-Recreational Club
- WA-Wadi
- Open Space and Farms
- EN1-No build Zones
- Plots

# Recreational Facilities Design Requirements

## Category REC1, REC2, & REC3: RECREATIONAL FACILITIES

Description - The Recreational Facilities including Stadium, Sports Centre and Recreational Centre are the active recreational uses planned within the AIU1a Central and South districts. The design for these assets should be bespoke and seek RCU approval while adhering to the general guidance for development. The below table provides guidelines for all 3 recreational land uses.

Development Requirements	
Uses	
Land use Level 1	Recreational Facilities
Land use Level 2	<ul style="list-style-type: none"> <li>Stadium, Sports Centre and Recreational Centre</li> </ul>
Permitted Uses	<ul style="list-style-type: none"> <li>Sports &amp; Recreational uses</li> <li>F&amp;B</li> <li>Administrative Offices</li> </ul>
Prohibited Uses	<ul style="list-style-type: none"> <li>All Commercial, residential and industrial uses</li> </ul>
Conditional Uses	<ul style="list-style-type: none"> <li>Retail</li> </ul>
Ancillary Uses	<ul style="list-style-type: none"> <li>Public Facilities</li> <li>Back of House</li> </ul>
Average Plot Size	N/A
Coverage	
Maximum Plot Coverage	50%
Minimum Landscape Coverage	30%
Maximum FAR	0.5
Building	
Maximum Height (Roof Line)	N/A
Basement Floors	2 (In limited locations)
Maximum Height for Accessory Buildings	8m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines - Central and South AIU1a.
Building Form	Detached
Building Setback (Minimum)	
Main Building	Front - 6 m; Side 6m and Rear - 6m
Basement Setback	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Ancillary Building	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Building to Building Setback Between Multiple Buildings on same lot	<ul style="list-style-type: none"> <li>N/A</li> </ul>
Service Areas and Equipment	
Loading Docks	<ul style="list-style-type: none"> <li>Loading docks, if any, shall be located to the rear of the building.</li> <li>Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses</li> </ul>
Outdoor Storage Area	<ul style="list-style-type: none"> <li>No outdoor storage shall be allowed</li> </ul>
Refuse Storage Areas	<ul style="list-style-type: none"> <li>Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.</li> </ul>
Mechanical Equipment	<ul style="list-style-type: none"> <li>At grade water tank and mechanical equipment: Shall be located to the side or rear of the building</li> <li>At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities</li> </ul>



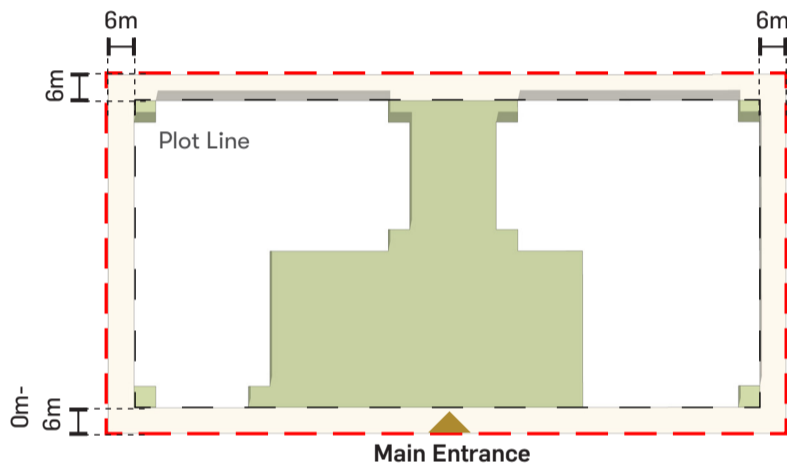
### Development Requirements

#### Parking

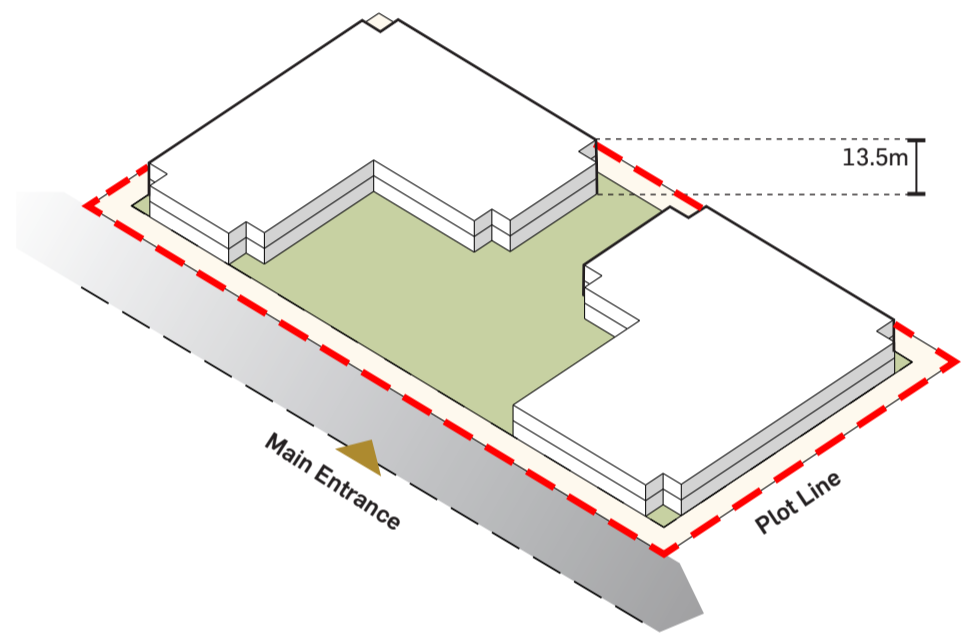
Parking Rate	1 parking space per 100sqm GFA
Parking Location	Required parking stalls shall be provided within the lot boundary

#### Fencing and Walls

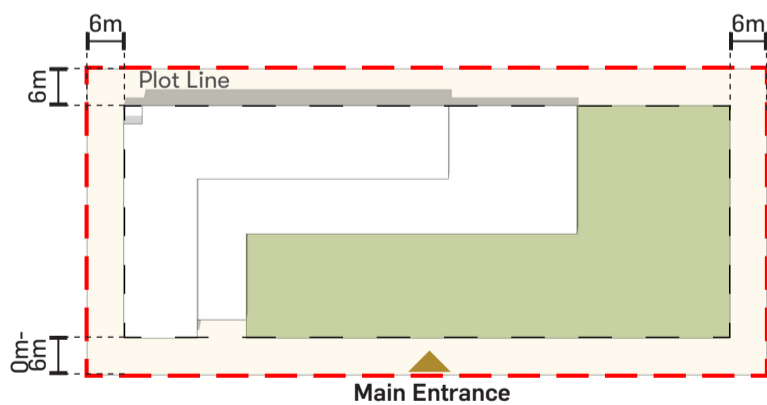
Location	Conditional
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



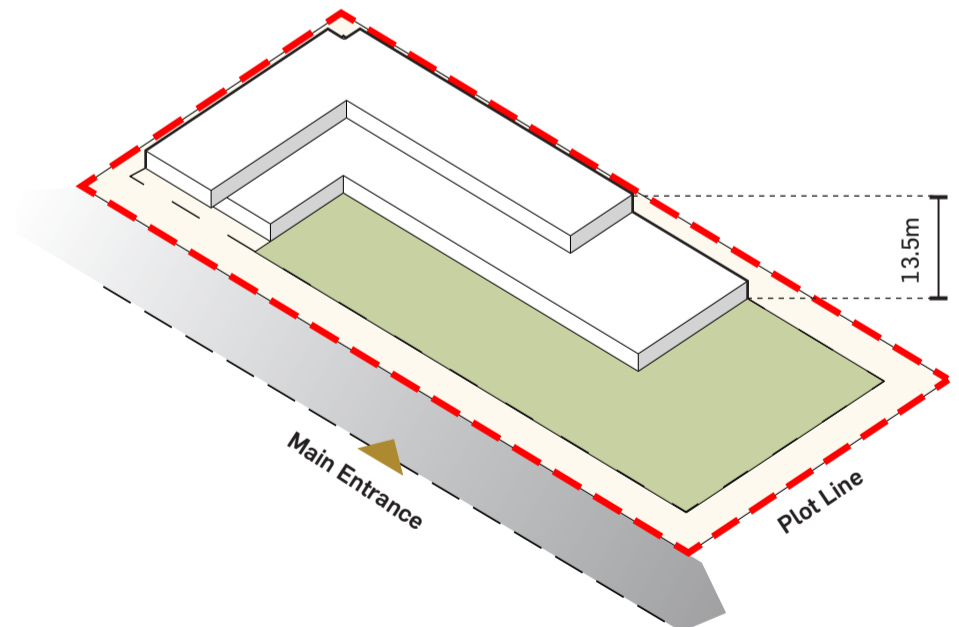
PLAN



3D VIEW



PLAN



3D VIEW

Figure 13: Recreational Centre Plans and Views

- Notes:** 1. The stadium design should adhere to the Stadium Guidelines issued as an independent project brief for design proposals.  
2. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels

# 9. List of Abbreviations

Abbreviation	Full name
RCU	ROYAL COMMISSION FOR ALULA
RCU CZP	RZU COUNTY ZONING AND PLANNING
MP2	MASTER PLAN AREA 2
MP1	MASTER PLAN AREA 1
FAR	FLOOR TO AREA RATIO
GFA	GROSS FLOOR AREA
N/A	NOT APPLICABLE



Page Left Intentionally Empty

