

AIUla Central & South

Residential & Mixed Use Typology Design Guidelines

May 2024



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Residential & Mixed Use Typology Design Guidelines

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1. Introduction

Master Plan Vision

‘Achieving sustainable urban transformation – future resilience and knowledge for the benefit of the local and global community.’

Master Plan 2: AIUla Central and South

The AIUla Master Plan 2 districts house the maximum population within the County and are strong anchors for urban growth. The key districts within Master Plan 2 are AIUla Central, AIUla South, Mughayra, Abu Zuraib and Outer Core Areas.

The intent of the Master Plan Area 2 is to provide support to the other 3 Master Plan Areas, as MP2 earmarks the arrival to AIUla. The MP2 area houses the primary urban and service areas for the wider county.

The Detailed Plan development for AIUla Central and South (2023) is a comprehensive Master Plan for those districts.





Villa Hegra

Old House
Boutique Hotel

HOP Housing

AlUla Central
Tram Station

Eastern Canyon
Urban Centre

Urban SEED

Tram Depot

Stadium

Hijaz Tram
Station

Hijaz Train
Station

Sayya Park

Urban SEED

Urban SEED

Urban SEED

AlUla Sports &
Outdoor Play
Centre

Urban SEED

Figure 1: AlUla Central and South Illustrative Master Plan (2023)

2. Purpose of this Document

This guideline aims to regulate residential and mixed land designs in AlUla Governorate and set mandatory requirements for those designs as described in the guideline.

The land uses across AlUla Central and South districts are grouped by type (land use level 1) and broken down into individual land uses (land use level 2). Each of the land uses has a corresponding land use code. Figure 2 illustrates the land uses that have been distributed across these districts. This guideline provides the Land use typology mandatory Requirements for residential and mixed use plots to be developed within these districts, as outlined in the below table.

Table 1: Residential and Mixed Use Land Use Typologies Guidelines List (Base Districts)

Land use Code	Land use Code Level 2	Land Use Level 1	Land Use Level 2
MU (Mixed Use)	MU	Mixed Use	Planned Unit Development
	MUR1	Mixed Use	Residential Mixed Use High density
	MUR2	Mixed Use	Residential Mix Use Low to Medium density
RE (Residential)	R1	Residential	Residential High Density
	R2	Residential	Residential Medium Density 2
	R3	Residential	Residential Medium Density 1
	R4	Residential	Residential Low Density
	R4a	Residential	Residential Low Density - Luxury
	R5	Residential	Residential Special
	R6	Residential	Residential Agriculture
	R7	Residential	Residential Affordable





LEGEND

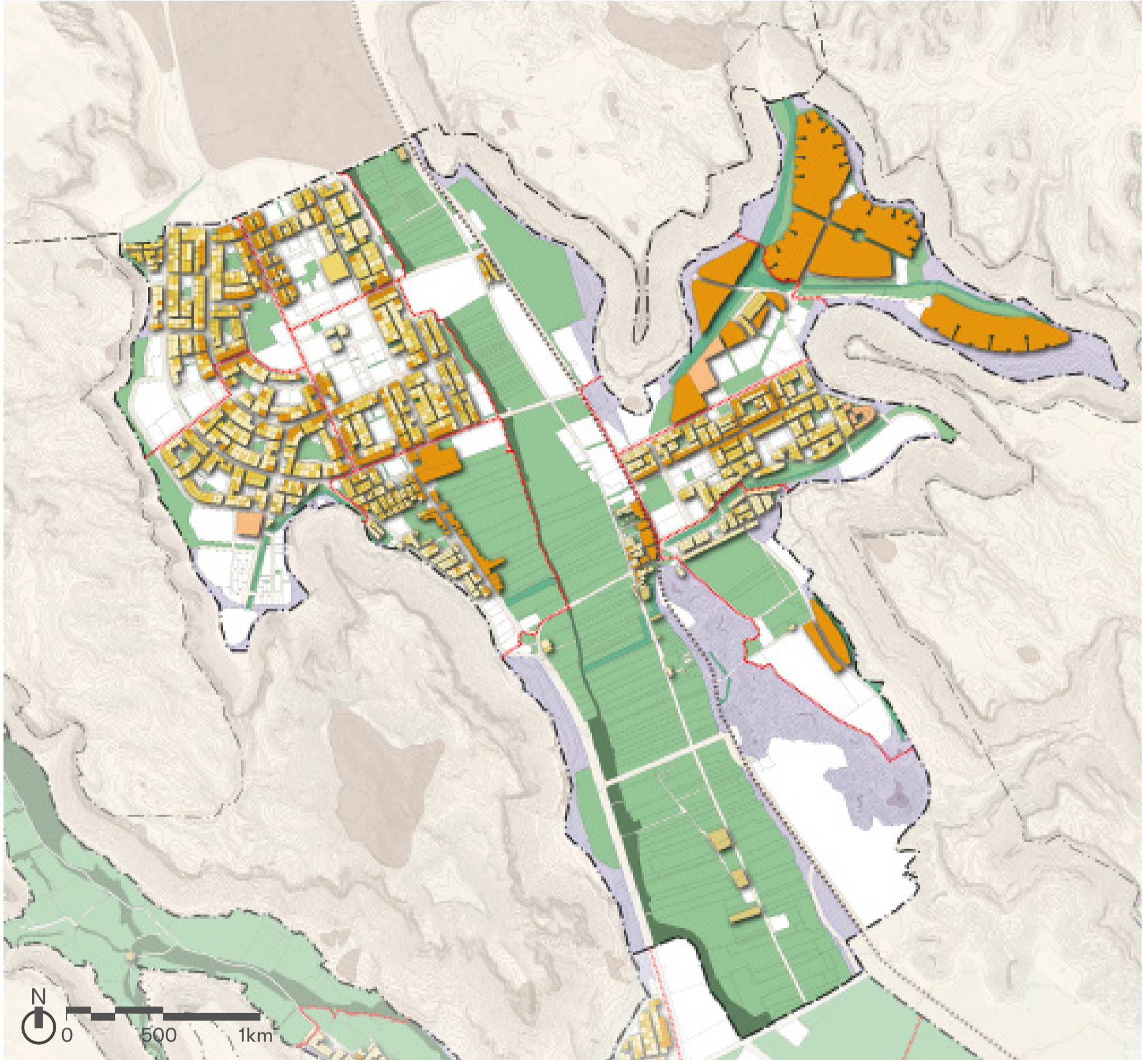
- R1-Residential High Density
- R2-Residential Medium Density 2
- R3-Residential Medium Density 1
- R4-Residential Low Density
- R4a-Residential Low Density - Luxury
- R5-Residential Special
- R6-Residential Agriculture
- R7-Residential Affordable
- MU-Planned Unit Development
- MUR1-Residential Mixed Use High density
- MUR2-Residential Mix Use Low to Medium density
- H1-Hotel (Low Density)
- H2-Hotel (Medium Density)
- H3-Hotel (High Density)
- H4-Resort
- MUO-Mixed Use Office
- O-Office
- BP-Business Park
- RT1-District Centre Retail & F&B
- RT2-Neighbourhood/Local Retail and F&B
- RT3-Warehouse Retail
- CS-Cultural Services
- HI-Heritage Assets
- ED1-Kindergarten
- ED2-School
- ED3-University
- ED4-Special Institute
- GS1-Government Offices
- HF1-Hospital
- HF2-Health Centre/Clinic
- RF1-Juma Mosque
- RF2-Local Mosque
- RF3-Other Facilities
- REC1-Stadium
- REC2-Sports Centre
- REC3-Recreational Club
- OS1-Local Park
- OS2-Neighbourhood Park
- OS3-District Park
- OS4-Settlement Park
- OS5-Wadi Edge Park
- OS6-Plaza
- OS7-Sikkas
- WA-Wadi
- AG-Farms
- CE-Cemetery
- SS1-Support Services (Industrial)
- SS2-City Support Services
- PU1-Public Utility
- PU2-Transport Utility
- SP-Special Projects
- EN1-No build Zones
- EN2-Irrigation Channels



Figure 2: AlUla Central and South Land Use Level 2 Plan (2023)

3. Residential and Mixed Use Plots Distribution

AIUla Central Residential and Mixed Use Land Use Plan

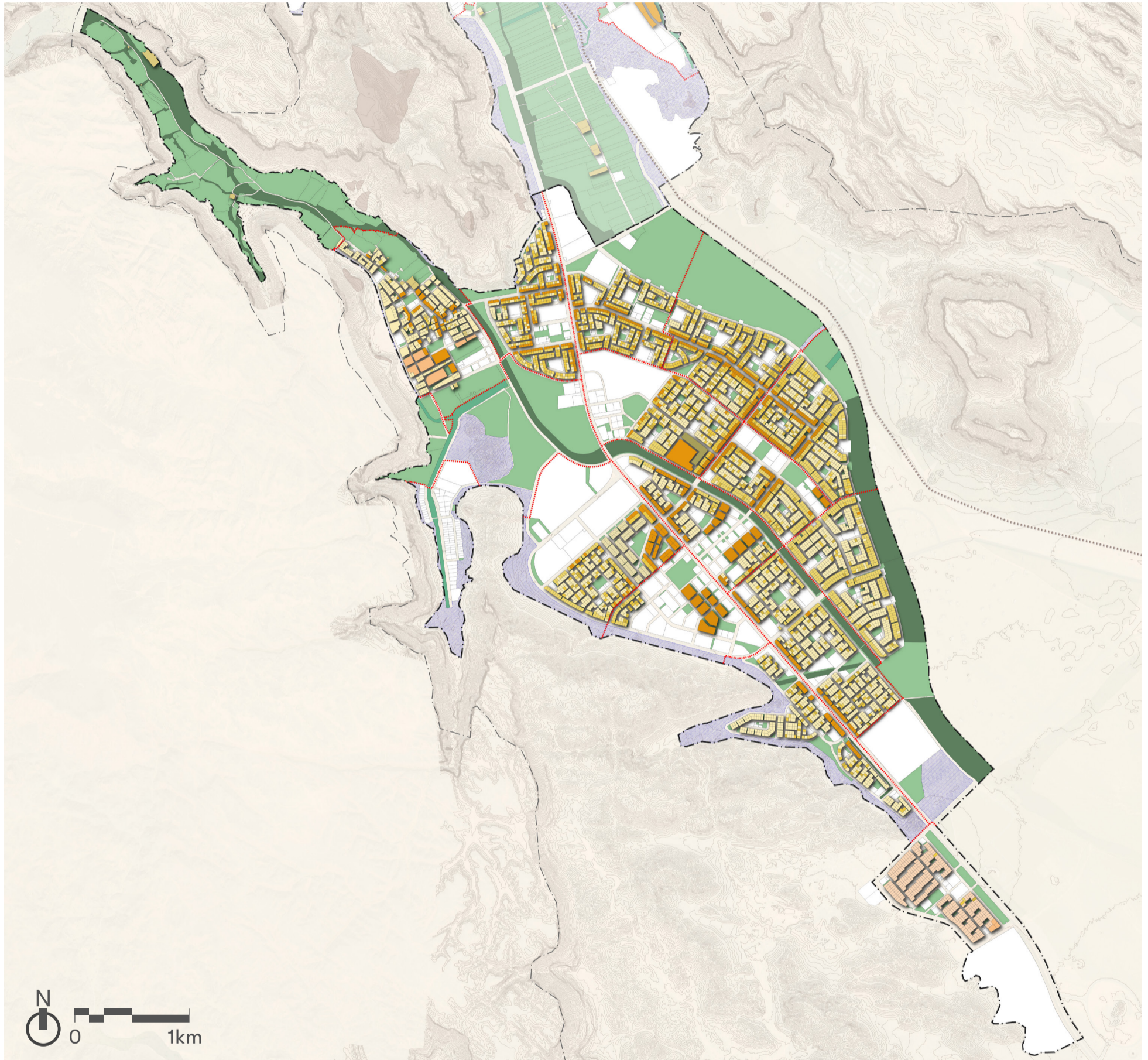


LEGEND

- R1-Residential High Density
- R2-Residential Medium Density 2
- R3-Residential Medium Density 1
- R4-Residential Low Density
- R4a-Residential Low Density - Luxury
- R5-Residential Special
- R6-Residential Agriculture
- R7-Residential Affordable
- MU-Planned Unit Development
- MUR1-Residential Mixed Use High density
- MUR2-Residential Mix Use Low to Medium density
- WA-Wadi
- Farms and open spaces
- EN2-Irrigation Channels
- EN1-No build Zones



AlUla South Residential and Mixed Use Land Use Plan



LEGEND

- | | |
|--|--|
| ■ R1-Residential High Density | ■ MUR1-Residential Mixed Use High density |
| ■ R2-Residential Medium Density 2 | ■ MUR2-Residential Mix Use Low to Medium density |
| ■ R3-Residential Medium Density 1 | ■ WA-Wadi |
| ■ R4-Residential Low Density | ■ Farms and open spaces |
| ■ R4a-Residential Low Density - Luxury | ■ EN2-Irrigation Channels |
| ■ R5-Residential Special | ■ EN1-No build Zones |
| ■ R6-Residential Agriculture | |
| ■ R7-Residential Affordable | |
| ■ MU-Planned Unit Development | |

4. Mixed Use Plots Design Requirements

Category MU: PLANNED UNIT DEVELOPMENT

Description - The Planned Unit Development areas are large development parcels identified as land banks within the AIUla Central and South district to plan residential and hospitality uses based market demands and local need. Only a gross FAR is estimated for these plots. A Design review panel should be established for reviewing the design proposal for these plots.

Development Requirements	
Uses	
Land use Level 1	Mixed Use
Land use Level 2	Planned Unit Development
Permitted Uses	<ul style="list-style-type: none"> Commercial/retail use, eating establishments and other activity-generating uses on the 1st floor Residential/ home office use above the 1st floor Multi-family residential apartments Residential Hospitality Use
Prohibited Uses	<ul style="list-style-type: none"> Large scale commercial complex All type of industrial uses and petrol stations Major Infrastructure Installations /A Commercial uses that cause or are likely to cause dis-amenity to the residents are not allowed. For example, nightclubs and karaoke lounges may only be allowed on a case-by-case basis.
Conditional Uses	<ul style="list-style-type: none"> Public Facilities Service apartments Hotel
Ancillary Uses	<ul style="list-style-type: none"> Electrical substation (ESS) Refuse area
Average Plot Size	N/A
Coverage	
Maximum Plot Coverage	50%
Minimum Landscape Coverage	%
Maximum FAR	0.5
GFA	
GFA Distribution for Plots without Permitted Hospitality	75% - Residential; 25% - Retail
GFA Distribution for Plots with Permitted Hospitality	55% - Residential; 20% - Hospitality; 25% - Retail
Building	
Maximum Height (Roof Line)	15.2 m (metres) (including maximum 1.2m parapet); 3 Floors/Storeys
Basement Floors	2
Maximum Height for Ancillary Buildings	N.A
Floor to Floor Height	6m (Ground Floor) 4m (all Other Floors)
Building Form	N/A
Building Setback (Minimum)	
Main Building	For Semi-Detached: Front - 6 m; Side from 0m to 6m and Rear - 6m For Detached: Front - 6 m; Side 3/6m and Rear - 6m
Basement Setback	• N/A
Ancillary Building	• N/A

Development Requirements

Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)
Multiple Buildings on same lot	

Service Areas and Equipment

Loading Docks	<ul style="list-style-type: none"> • Loading docks, if any, shall be located to the rear of the building or designated locations • Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses
Outdoor Storage Area	<ul style="list-style-type: none"> • No outdoor storage shall be allowed
Refuse Storage Areas	<ul style="list-style-type: none"> • Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	<ul style="list-style-type: none"> • At grade or rooftop water tank, mechanical and telecommunications equipment: shall be screened subject to approval by RCU or other relevant authorities

Parking

Parking Rate	1 parking space per 150sqm GFA (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary

Fencing and Walls)

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)

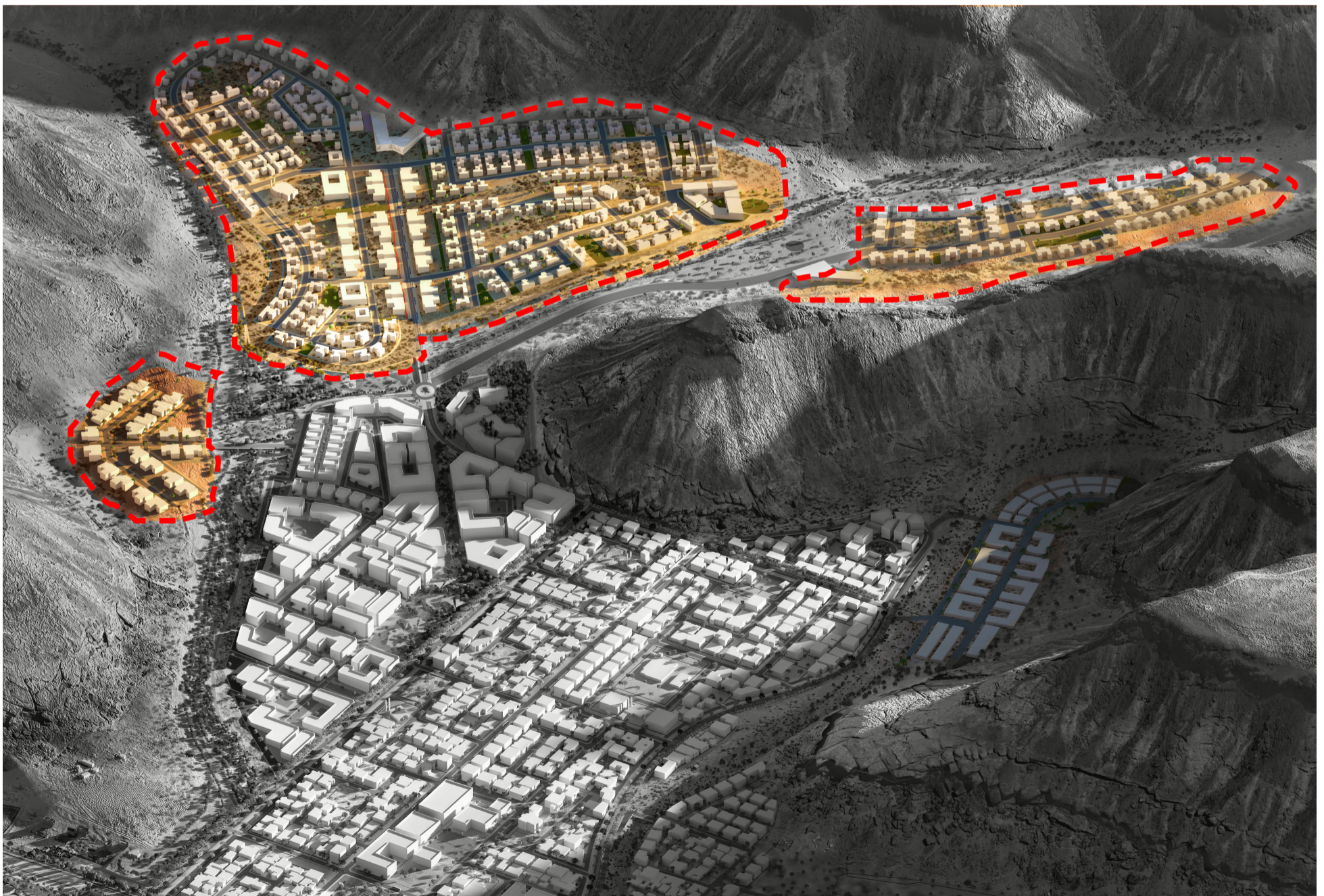


Figure 3: AlUla South Planned Unit Development View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

2. The Planned Unit Developments should undergo a design review exercise so that the proposed sub parcellation, building use and architectural style can be reviewed by an RCU appointed panel in order to achieve the project vision.

Mixed Use Plots Design Requirements

Category MUR1: RESIDENTIAL MIXED USE HIGH DENSITY

General Description: The Residential Mixed Use High Density (MUR1) is an area established to create housing with commercial development at the ground level. This is to ensure continuity in ground-level commercial activities. The district offers spaces for goods and services as well as living quarters to create a vibrant, mixed-use commercial district. Plots in this land use category are largely planned in City Centres and along public transport corridors

The Requirements provided in the below table shall apply to all new and redeveloped commercial - residential uses within the Mixed-Use High Density Land Use.

Development Requirements

Uses

Land use Level 1	Mixed Use
Land use Level 2	Residential Mixed Use High density
Permitted Uses	<ul style="list-style-type: none"> Commercial/retail use, eating establishments and other activity-generating uses on the 1st floor Residential/ home office use above the 1st floor Multi-family residential apartments Residential Hospitality Use
Prohibited Uses	<ul style="list-style-type: none"> Large scale commercial complex All type of industrial uses and petrol stations Major Infrastructure Installations Commercial uses that cause or are likely to cause dis-amenity to the residents are not allowed. For example, nightclubs and karaoke lounges may only be allowed on a case-by-case basis.
Conditional Uses	<ul style="list-style-type: none"> Public Facilities Service apartments Hotel
Ancillary Uses	<ul style="list-style-type: none"> Electrical substation (ESS) Refuse area
Average Plot Size	1,000 - 2,000 sqm

Coverage

Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	1.8

GFA

GFA Distribution for Plots without Permitted Hospitality	75% - Residential; 25% - Retail
GFA Distribution for Plots with Permitted Hospitality	55% - Residential; 20% - Hospitality; 25% - Retail

Building

Maximum Height (Roof Line)	19.2 m (metres) (including maximum 1.2m parapet); 4 Floors/Storeys
Basement Floors	2
Maximum Height for Ancillary Buildings	N.A
Floor to Floor Height	6m (Ground Floor) 4m (all Other Floors)

Building Setback (Minimum)

Main Building	Front - 0-6m, Sides 6m and Rear 6m For Semi-Detached: Front - 0 m; Side 6m and Rear - 6m For Detached: Front - 6 m; Side 3/6m and Rear - 6m
Basement Setback	• N/A
Ancillary Building	• N/A

Development Requirements

Building to Building Setback Between Multiple Buildings on same lot • N/A

Service Areas and Equipment

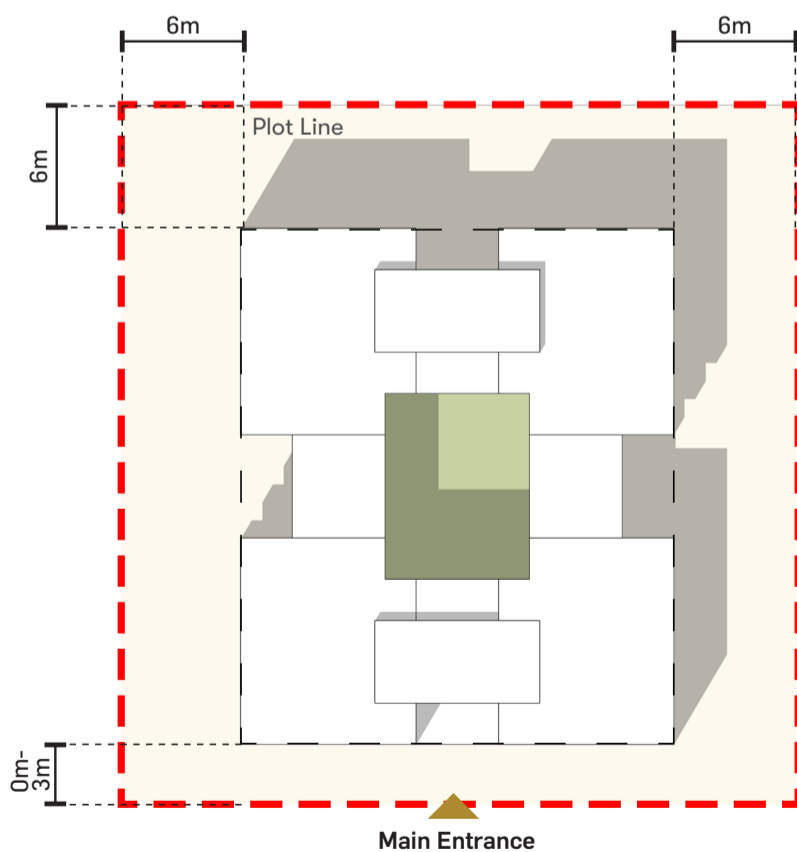
Loading Docks	<ul style="list-style-type: none"> • Loading docks, if any, shall be located to the rear of the building. • Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses
Outdoor Storage Area	<ul style="list-style-type: none"> • No outdoor storage shall be allowed
Refuse Storage Areas	<ul style="list-style-type: none"> • Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	<ul style="list-style-type: none"> • At grade water tank and mechanical equipment: Shall be located to the side or rear of the building • At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

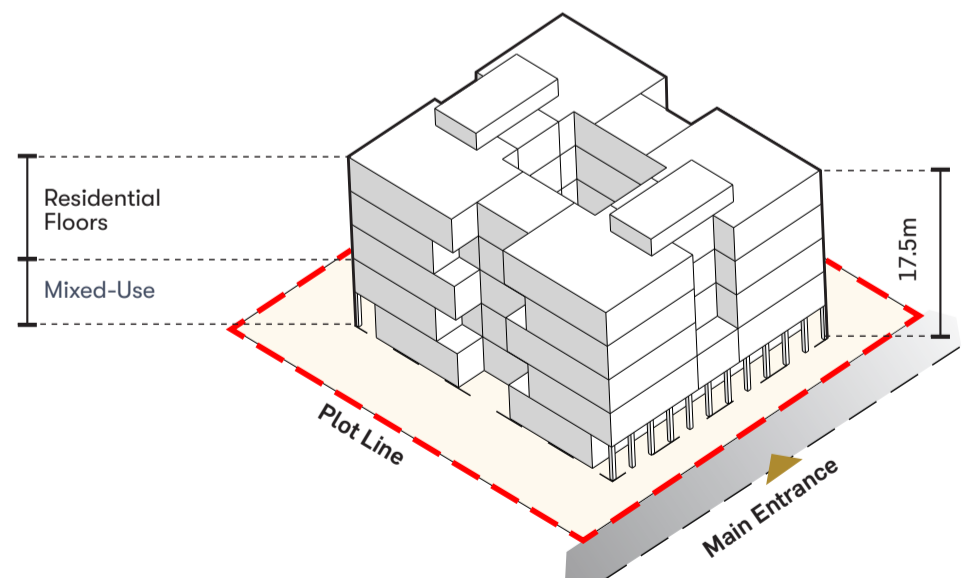
Parking Rate	1 parking space per 150sqm GFA and 1 per residential Unit (for avg. 200 sqm) (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary or designated public car parking spaces

Fencing and Walls

Location	Front - Not permitted; Rear and Sides - Not encouraged
Height of Boundary wall	N/A



PLAN



3D VIEW

Figure 4: AlUla Residential Mixed Use High density Plan & View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.
2. Form explorations of the MUR1 - Residential Mixed Use High density, other variations of the same may be used as long as they adhere to standards outlined for the land use typology.

Mixed Use Plots Design Requirements

Category MUR2: RESIDENTIAL MIXED LOW TO MEDIUM DENSITY

General Description: The Residential Mixed Use Low to Medium Density (MUR2) is an area established to create housing with commercial development at the ground level, to ensure continuity in the ground level commercial activities. The district offers spaces for goods and services as well as living quarters to create a vibrant, mixed-use commercial district. Plots in this land use category are largely planned along public transport corridors and in proximity to Urban SEEDs

The Requirements provided in the below table shall apply to all new and redeveloped commercial - residential uses within the Mixed Use Low to Medium Density Land Use.

Development Requirements

Uses

Land use Level 1	Mixed Use
Land use Level 2	Residential Mixed Use High density
Permitted Uses	<ul style="list-style-type: none"> Commercial/retail use, eating establishments and other activity-generating uses on the 1st floor Residential/ home office use above the 1st floor Multi-family residential apartments Residential Hospitality Use
Prohibited Uses	<ul style="list-style-type: none"> Large scale commercial complex All type of industrial uses and petrol stations Major Infrastructure Installations Commercial uses that cause or are likely to cause dis-amenity to the residents are not allowed. For example, nightclubs and karaoke lounges may only be allowed on a case-by-case basis.
Conditional Uses	<ul style="list-style-type: none"> Public Facilities Service apartments Hotel
Ancillary Uses	<ul style="list-style-type: none"> Electrical substation (ESS) Refuse area
Average Plot Size	1,000 - 2,000 sqm

Coverage

Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	1.2

GFA

GFA Distribution for Plots without Permitted Hospitality	75% - Residential; 25% - Retail
GFA Distribution for Plots with Permitted Hospitality	55% - Residential; 20% - Hospitality; 25% - Retail

Building

Maximum Height (Roof Line)	19.2 m (metres) (including maximum 1.2m parapet); 4 Floors/Storeys
Basement Floors	2
Maximum Height for Ancillary Buildings	N.A
Floor to Floor Height	6m (Ground Floor) 4m (all Other Floors)

Building Setback (Minimum)

Main Building	<p>Front - 0-6m, Sides 6m and Rear 6m</p> <p>For Semi-Detached: Front - 0 m; Side 6m and Rear - 6m</p> <p>For Detached: Front - 6 m; Side 3/6m and Rear - 6m</p>
Basement Setback	<ul style="list-style-type: none"> N/A

Development Requirements

Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• N/A

Service Areas and Equipment

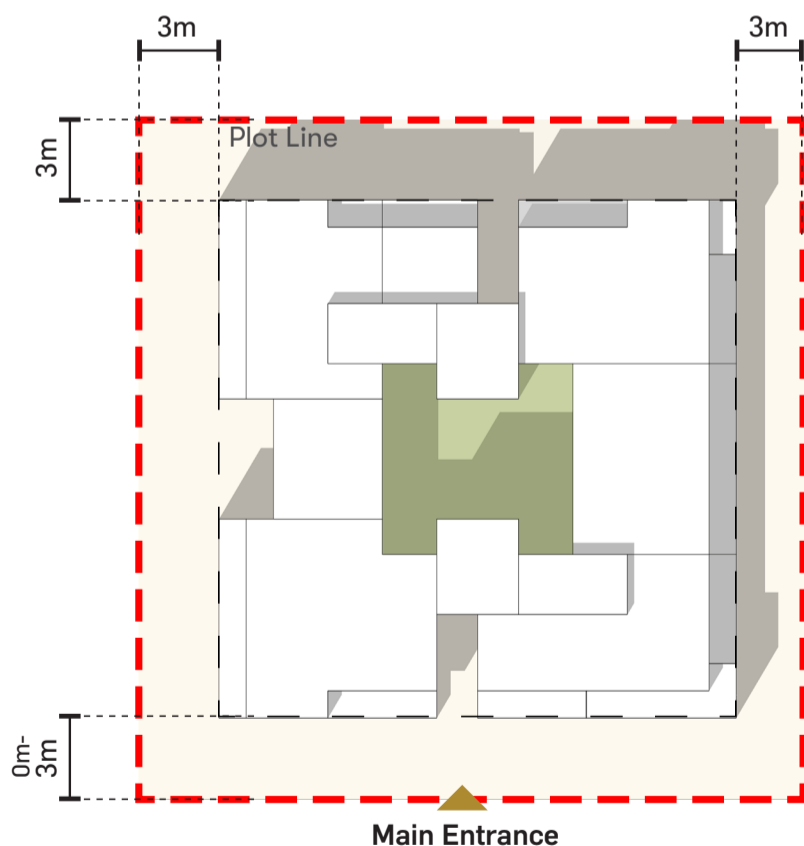
Loading Docks	<ul style="list-style-type: none"> • Loading docks, if any, shall be located to the rear of the building. • Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses
Outdoor Storage Area	<ul style="list-style-type: none"> • No outdoor storage shall be allowed
Refuse Storage Areas	<ul style="list-style-type: none"> • Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	<ul style="list-style-type: none"> • At grade water tank and mechanical equipment: Shall be located to the side or rear of the building • At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

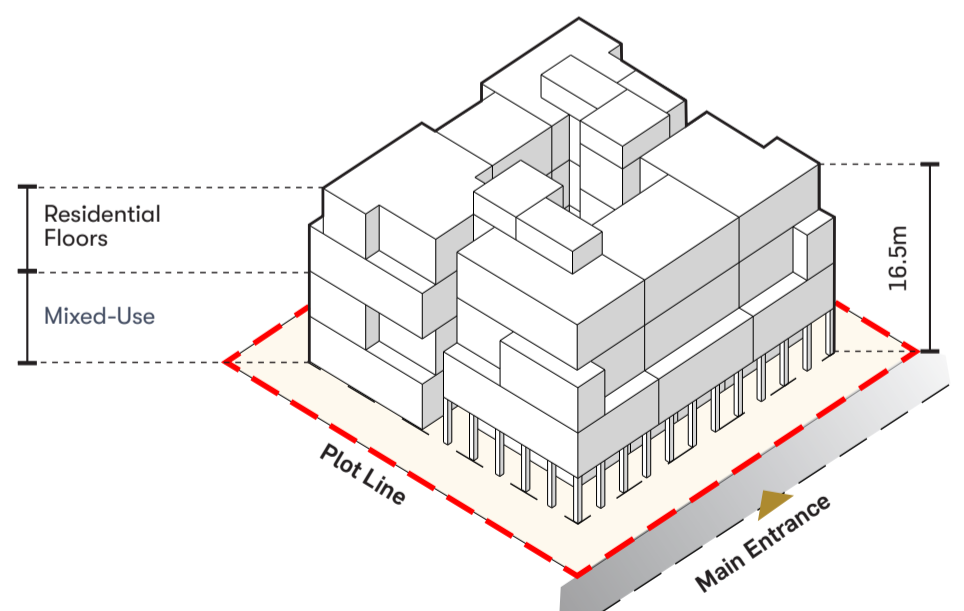
Parking Rate	1 parking space per 150sqm GFA and 1 per residential Unit (for avg. 200 sqm) (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary or designated public car parking spaces

Fencing and Walls

Location	Front - Not permitted; Rear and Sides - Not encouraged
Height of Boundary wall	N/A



PLAN



3D VIEW

Figure 5: AlUla Residential Mix Use Low to Medium density Plan & View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

2. Form explorations of the MUR2 - Residential Mixed Use, other variations of the same may be used as long as they adhere to standards outlined for the land use typology.

5. Residential Plots Design Requirements

Category R1: RESIDENTIAL HIGH DENSITY

General Description: The Residential High Density (R1) is a land use established in the proximity to the centres and key public transport corridors of AIUla Central and South Districts. They shall provide high-quality, high density living for those who desire an urban lifestyle with easy access to regional goods and services. Communal facilities with generous open space are encouraged to enhance the quality of living in this high density environment.

The Requirements provided in the below table shall apply to all new and redeveloped residential plots, and plots that have been re-zoned to the Residential High Density Land Use.

Development Requirements

Uses

Land use Level 1	Residential
Land use Level 2	Residential High density
Permitted Uses	Low and medium rise multifamily apartments Shop within apartment complex not exceeding 60 m ² of floor area or 5% of GFA Clubhouse
Prohibited Uses	General Commercial uses Industrial uses Major infrastructure Single Family Residential developments
Conditional Uses	Standalone food outlet with less than 50 seats Hotels (incl. its ancillary uses) Public facilities Home Offices
Ancillary Uses	Car parking garage Guard house Maids' quarters Outdoor kitchen Store rooms
Average Plot Size	800 - 1,000 sqm

Coverage

Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	1.8

GFA

GFA Distribution for Plots without Permitted Hospitality	100% - Residential
GFA Distribution for Plots with Permitted Hospitality	50% - Residential; 50% - Hospitality

Building

Maximum Height (Roof Line)	17.2m (Metres) (including maximum 1.2m parapet); 4 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.
Building Form	Detached

Development Requirements

Building Setback (Minimum)

Main Building	Front - 3/6 m; Side 3/6m and Rear - 6m
Basement Setback	• N/A
Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• 1/2 of the total building height of the tallest structure

Service Areas and Equipment

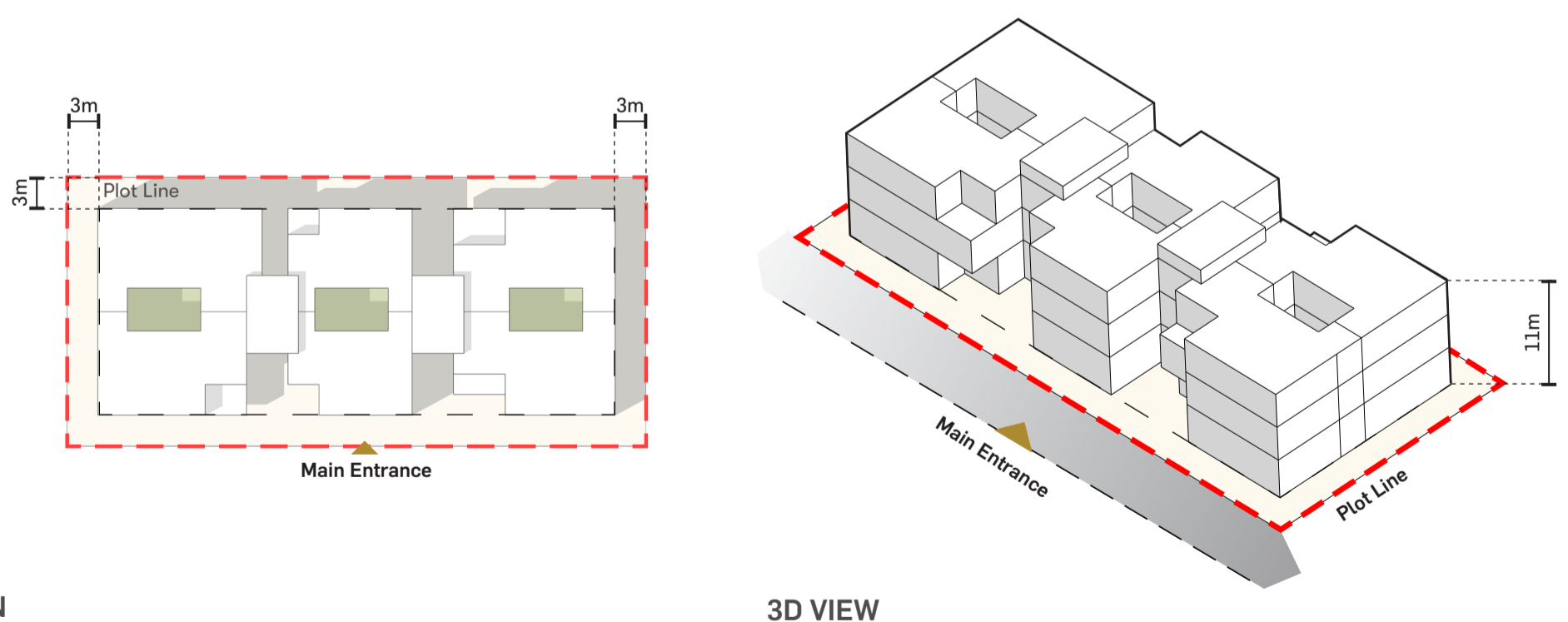
Loading Docks	<ul style="list-style-type: none"> • Loading docks, if any, shall be located to the rear of the building. • Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses
Outdoor Storage Area	• No outdoor storage shall be allowed
Refuse Storage Areas	• Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	<ul style="list-style-type: none"> • At grade water tank and mechanical equipment: Shall be located to the side or rear of the building • At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

Parking Rate	1 parking space per 150sqm GFA (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary or designated communal parking lots. Visitor parking can be designated on street in consultation with RCU.

Fencing and Walls

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



PLAN

3D VIEW

Figure 6: AlUla Residential High Density Plan and View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

2. Form explorations of the R1 - High Density Residential, other variations of the same may be used as long as they adhere to standards outlined for the land use typology.

Residential Plots Design Requirements

Potential Block Typology: RESIDENTIAL HIGH DENSITY

In case, a developer or group of residents/plot owners wish to amalgamate their high density residential plots. The following block typology related guidance may be adopted. This can help achieve a population density of about 350 PPH (Persons per Hectare).

Development Requirements

Uses

Land use Level 1	Residential
Land use Level 2	Residential High density
Permitted Uses	<ul style="list-style-type: none"> • Low and medium rise multifamily apartments • Shop within apartment complex not exceeding 60 m² of floor area or 5% of GFA • Clubhouse
Prohibited Uses	<ul style="list-style-type: none"> • General Commercial uses • Industrial uses • Major infrastructure • Single Family Residential developments
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Offices
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Typical block size	7,800 sqm

Coverage

Maximum Plot Coverage	50%
Minimum Landscape Coverage	30%
Average F.A.R Range for the city block	High (FAR: 1.5-2.0)

GFA

GFA Distribution for Plots without Permitted Hospitality	100% - Residential
GFA Distribution for Plots with Permitted Hospitality	50% - Residential; 50% - Hospitality

Building

Maximum Height (Roof Line)	17.2m (Metres) (including maximum 1.2m parapet); 4 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guideline

Building Setback (Minimum)

Main Building	Front - 3 m; Side 3/6m and Rear - 3m
Basement Setback	• N/A



Typical Example

Here is a typical example for illustrating a High Density Residential Community block where a mixture of building typologies are planned together to achieve the recommended gross FAR and population density.

- LEGEND**
- PARCEL BOUNDARY
 - NEW RESIDENTIAL AREA
 - PUBLIC OPEN SPACE
 - SIDE WALK
 - ROAD
 - SETBACK
 - DIMENSION
 - KEY FRONTAGE
 - PEDESTRIAN LINKS

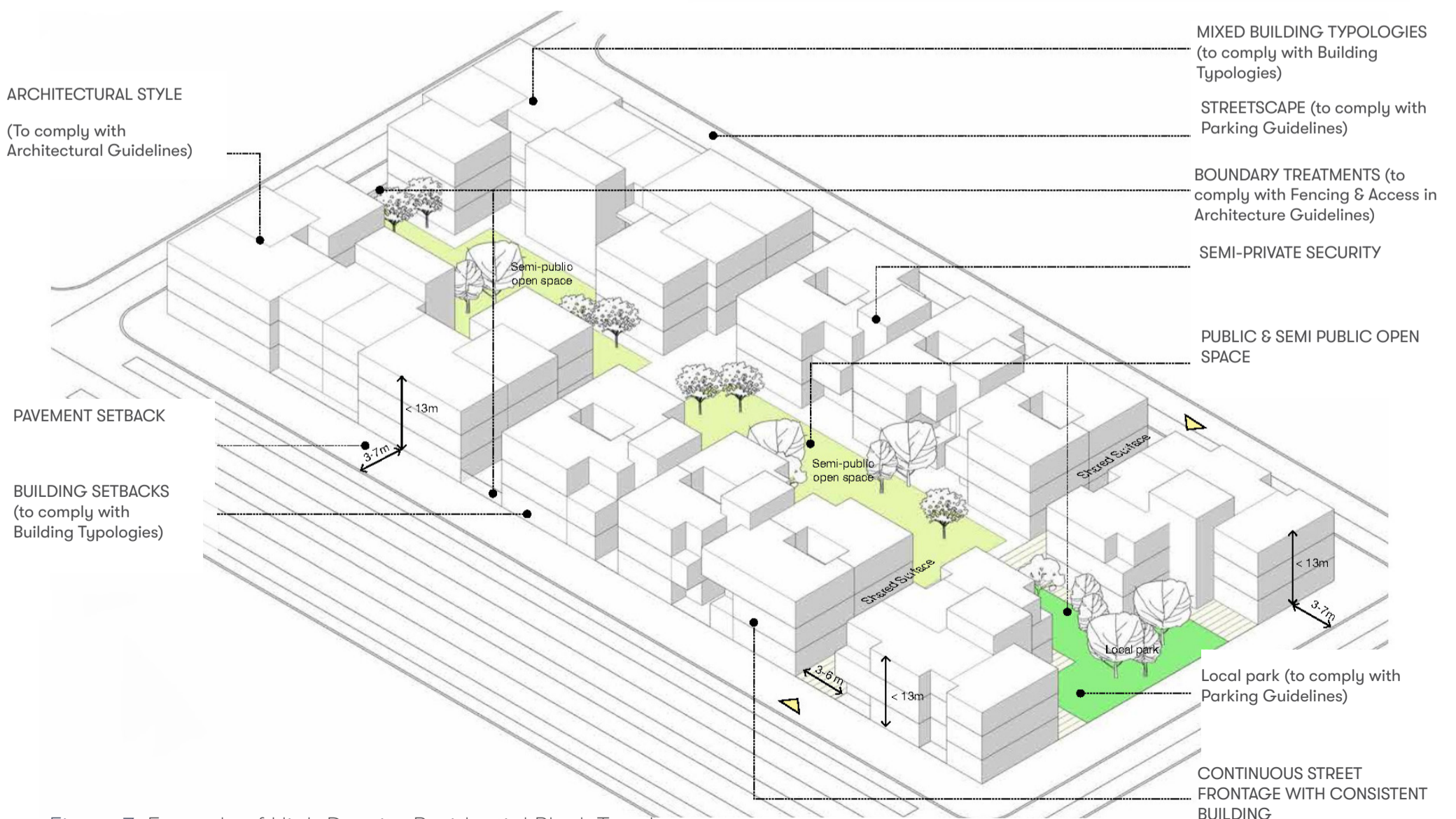


Figure 7: Example of High Density Residential Block Typology.

Residential Plots Design Requirements

Category R2: RESIDENTIAL MEDIUM DENSITY 2

General Description: The Residential Medium Density 2 (R2) is a land use established in the proximity to the key public transport corridors and within Urban SEEDs of AIUla Central and South Districts, to provide high-quality, high density living for those who desire an urban lifestyle with easy access to regional goods and services. Communal facilities with generous open space are encouraged to enhance the quality of living in this high density environment.

The Requirements provided in the below table shall apply to all new and redeveloped residential plots and plots that have been rezoned to the Residential Medium Density 2 Land Use.

Development Requirements

Uses

Land use Level 1	Residential
Land use Level 2	Residential Medium density 2
Permitted Uses	<ul style="list-style-type: none"> • Low and medium rise multifamily apartments and town houses • Shop within apartment complex not exceeding 60 m² of floor area or 5% of GFA • Clubhouse
Prohibited Uses	<ul style="list-style-type: none"> • General Commercial uses • Industrial uses • Major infrastructure • Single Family Residential developments
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Offices
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Average Plot Size	800 - 1,000 sqm

Coverage

Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	1.5

GFA

GFA Distribution for Plots without Permitted Hospitality	100% - Residential
GFA Distribution for Plots with Permitted Hospitality	50% - Residential; 50% - Hospitality

Building

Maximum Height (Roof Line)	13.2m (Metres) (including maximum 1.2m parapet); 3 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.

Development Requirements

Building Setback (Minimum)

Main Building	Front - 3 m; Side 3/6m and Rear - 3m
Basement Setback	• N/A
Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• 1/2 of the total building height of the tallest structure

Service Areas and Equipment

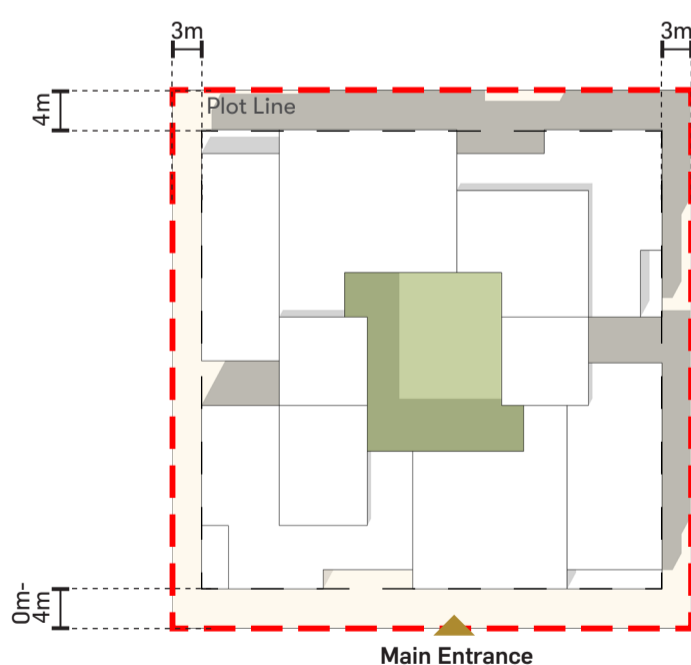
Loading Docks	<ul style="list-style-type: none"> • Loading docks, if any, shall be located to the rear of the building. • Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses
Outdoor Storage Area	<ul style="list-style-type: none"> • No outdoor storage shall be allowed
Refuse Storage Areas	<ul style="list-style-type: none"> • Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	<ul style="list-style-type: none"> • At grade water tank and mechanical equipment: Shall be located to the side or rear of the building • At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

Parking Rate	1 parking space per 150sqm GFA (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary or designated communal parking lots. Visitor parking can be designated on street in consultation with RCU.

Fencing and Walls

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



PLAN

Figure 8: AlUla Residential Medium Density 2 Plan and View



3D VIEW

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

2. Form explorations of the R2 - Medium Density 2 Density Residential, other variations of the same may be used as long as they adhere to standards outlined for the land use typology.

Residential Plots Design Requirements

Potential Block Typology: RESIDENTIAL MEDIUM DENSITY 2

In case a developer or group of residents/plot owners wish to amalgamate their medium density residential plots, the following block typology related guidance may be adopted.

This can help achieve a population density of about 340 PPH (Persons per Hectare).

Development Requirements	
Uses	
Land use Level 1	Residential
Land use Level 2	Residential Medium Density 2
Permitted Uses	<ul style="list-style-type: none"> • Low and medium rise multifamily apartments and town houses • Shop within apartment complex not exceeding 60 m² of floor area or 5% of GFA • Clubhouse
Prohibited Uses	<ul style="list-style-type: none"> • General Commercial uses • Industrial uses • Major infrastructure • Single Family Residential developments
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Offices
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Typical block size	7,800 sqm
Coverage	
Maximum Plot Coverage	50%
Minimum Landscape Coverage	30%
Average FAR Range for the city block	Medium (FAR: 1.3-1.7)
GFA	
GFA Distribution for Plots without Permitted Hospitality	100% - Residential
GFA Distribution for Plots with Permitted Hospitality	50% - Residential; 50% - Hospitality
Building	
Maximum Height (Roof Line)	13.2m (Metres) (including maximum 1.2m parapet); 3 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.
Building Setback (Minimum)	
Main Building	Front - 3 m; Side 3/6m and Rear - 3m
Basement Setback	• N/A



Typical Example

Here is a typical example for illustrating a Medium Density Residential Community block where a mixture of building typologies are planned together to achieve the desired gross FAR and population density.

- LEGEND**
- PARCEL BOUNDARY
 - NEW RESIDENTIAL AREA
 - PUBLIC OPEN SPACE
 - SIDE WALK
 - ROAD
 - SETBACK
 - DIMENSION
 - KEY FRONTAGE
 - PEDESTRIAN LINKS

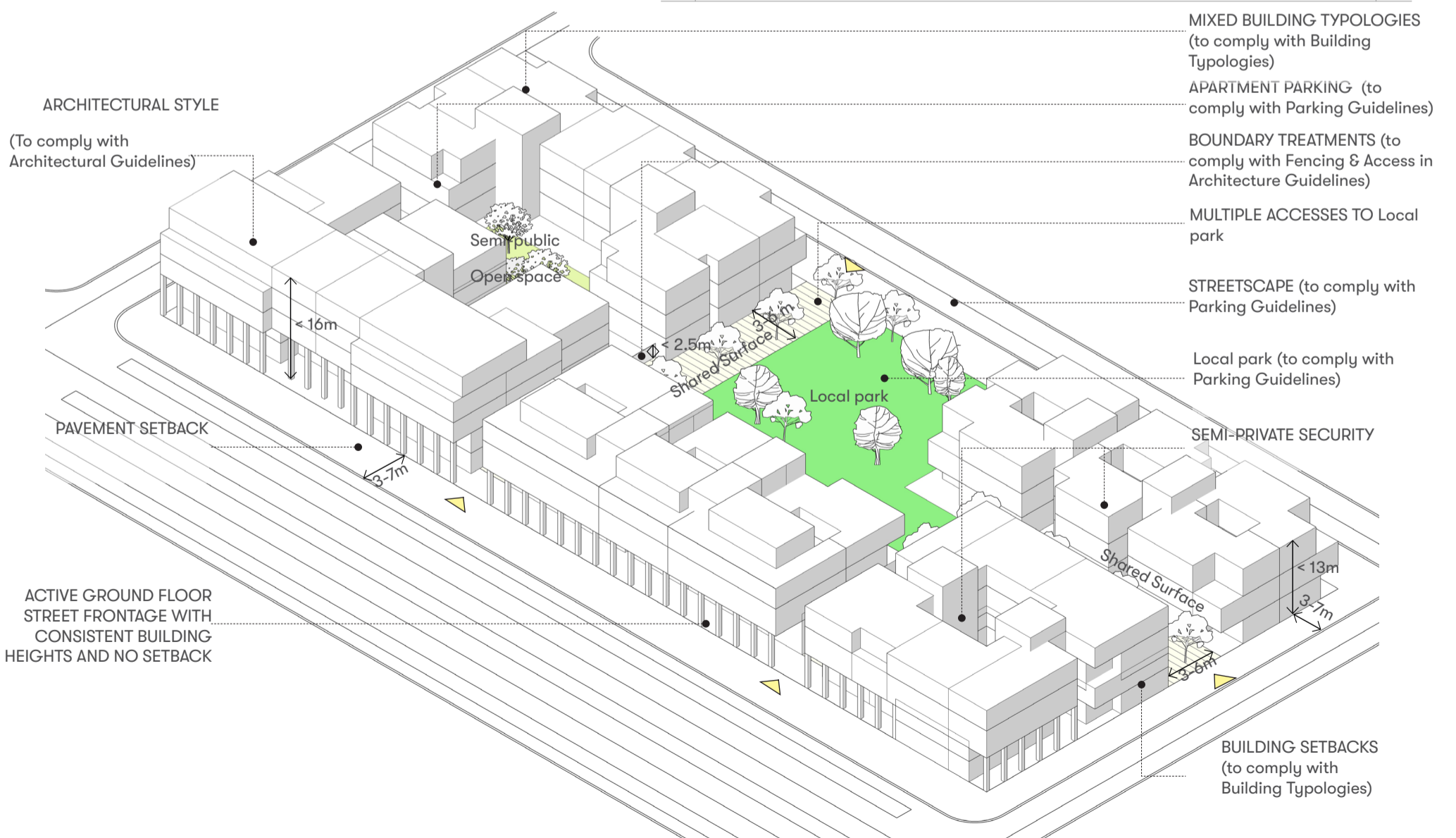
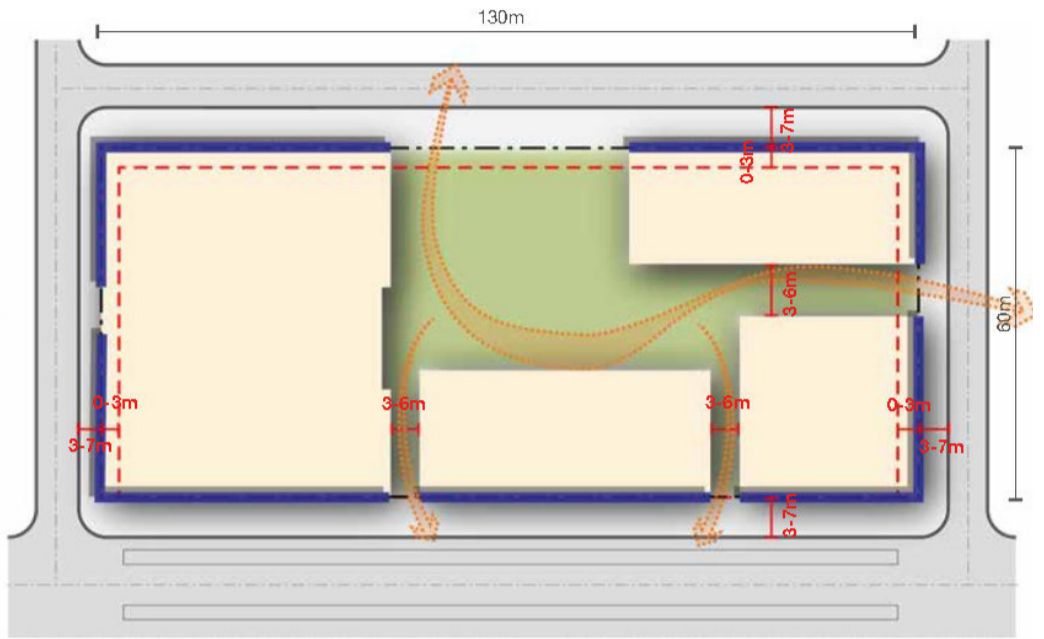


Figure 9: Example of Medium Density 2 Residential Block Typology.

Residential Plots Design Requirements

Category R3: RESIDENTIAL MEDIUM DENSITY 1

General Description: The Residential Medium Density 1 (R3) is a land use established in the proximity to the key public transport corridors and within Urban SEEDs of AIUla Central and South Districts, to provide high-quality, high density living for those who desire an urban lifestyle with easy access to regional goods and services. Communal facilities with generous open space are encouraged to enhance the quality of living in this high density environment.

The Requirements provided in the below table shall apply to all new and redeveloped residential plots and plots that have been rezoned to the Residential Medium Density 1 Land Use.

Development Requirements

Uses

Land use Level 1	Residential
Land use Level 2	Residential Medium density 1
Permitted Uses	<ul style="list-style-type: none"> • Low and medium rise multifamily apartments and town houses • Shop within apartment complex not exceeding 60 m² of floor area or 5% of GFA • Clubhouse
Prohibited Uses	<ul style="list-style-type: none"> • General Commercial uses • Industrial uses • Major infrastructure • Single Family Residential developments
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Offices
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Average Plot Size	400 - 900 sqm

Coverage

Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	1.2

GFA

GFA Distribution for Plots without Permitted Hospitality	100% - Residential
GFA Distribution for Plots with Permitted Hospitality	50% - Residential; 50% - Hospitality

Building

Maximum Height (Roof Line)	13.2m (Metres) (including maximum 1.2m parapet); 3 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.

Building Setback (Minimum)

Main Building	Front - 3 m; Side 3/6m and Rear - 3m
Basement Setback	Front - 3 m; Side 3/6m and Rear - 3m



Development Requirements

Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• 1/2 of the total building height of the tallest structure

Service Areas and Equipment

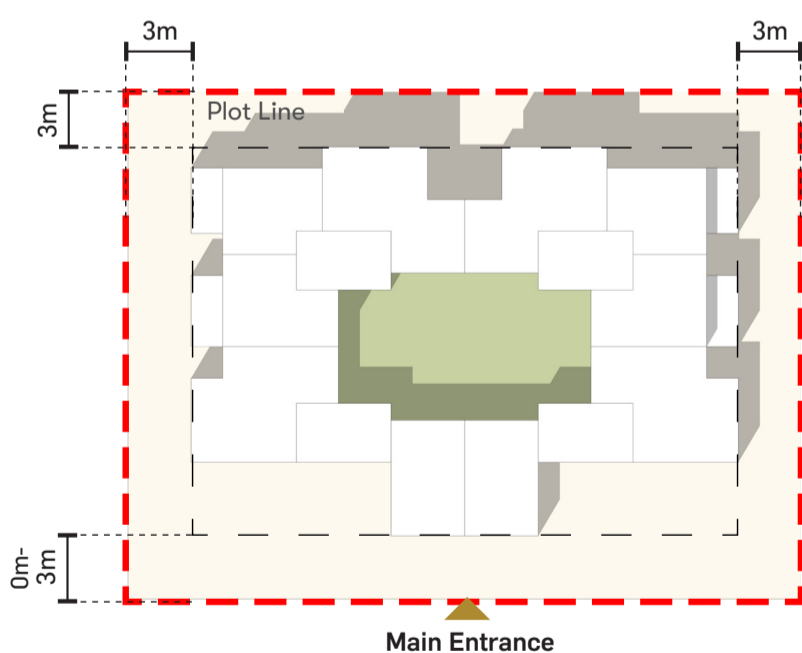
Loading Docks	<ul style="list-style-type: none"> • Loading docks, if any, shall be located to the rear of the building. • Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses
Outdoor Storage Area	• No outdoor storage shall be allowed
Refuse Storage Areas	• Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	<ul style="list-style-type: none"> • At grade water tank and mechanical equipment: Shall be located to the side or rear of the building • At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

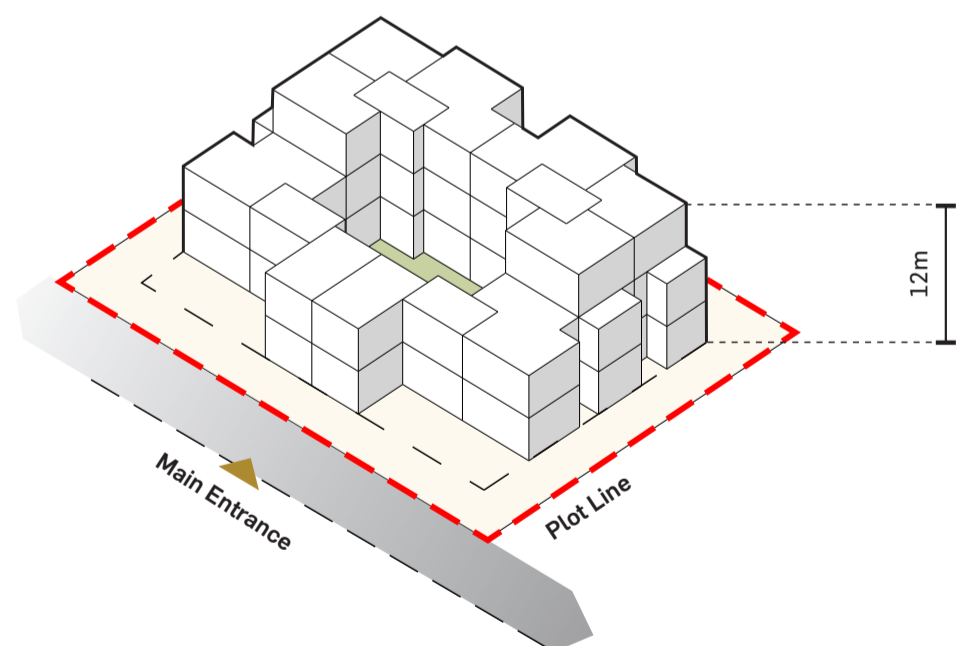
Parking Rate	1 parking space per 150sqm GFA (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary or designated communal parking lots. Visitor parking can be designated on street in consultation with RCU.

Fencing and Walls

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



PLAN



3D VIEW

Figure 10: AlUla Residential Medium Density 1 Plan and View

- Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.
2. Form explorations of the R3 - Medium Density 1 Density Residential, other variations of the same may be used as long as they adhere to standards outlined for the land use typology.

Residential Plots Design Requirements

Potential Block Typology: RESIDENTIAL MEDIUM DENSITY 1

In case a developer or group of residents/plot owners wish to amalgamate their medium density residential plots, the following block typology related guidance may be adopted. This can help achieve a population density of about 340 PPH (Persons per Hectare).

Development Requirements

Uses

Land use Level 1	Residential
Land use Level 2	Residential Medium Density 1
Permitted Uses	<ul style="list-style-type: none"> • Low and medium rise multifamily apartments and town houses • Shop within apartment complex not exceeding 60 m² of floor area or 5% of GFA • Clubhouse
Prohibited Uses	<ul style="list-style-type: none"> • General Commercial uses • Industrial uses • Major infrastructure • Single Family Residential developments
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Offices
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Typical block size	7,800 sqm

Coverage

Maximum Plot Coverage	50%
Minimum Landscape Coverage	30%
Average F.A.R Range for the city block	Medium (FAR: 1.2)

GFA

GFA Distribution for Plots without Permitted Hospitality	100% - Residential
GFA Distribution for Plots with Permitted Hospitality	50% - Residential; 50% - Hospitality

Building

Maximum Height (Roof Line)	13.2m (Metres) (including maximum 1.2m parapet); 3 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.

Building Setback (Minimum)

Main Building	Front - 3 m; Side 3/6m and Rear - 3m
Basement Setback	• N/A



Typical Example

Here is a typical example for illustrating a Medium Density Residential Community block where a mixture of building typologies are planned together to achieve the recommended gross FAR and population density.

- LEGEND**
- PARCEL BOUNDARY
 - NEW RESIDENTIAL AREA
 - PUBLIC OPEN SPACE
 - SIDE WALK
 - ROAD
 - SETBACK
 - DIMENSION
 - KEY FRONTAGE
 - PEDESTRIAN LINKS

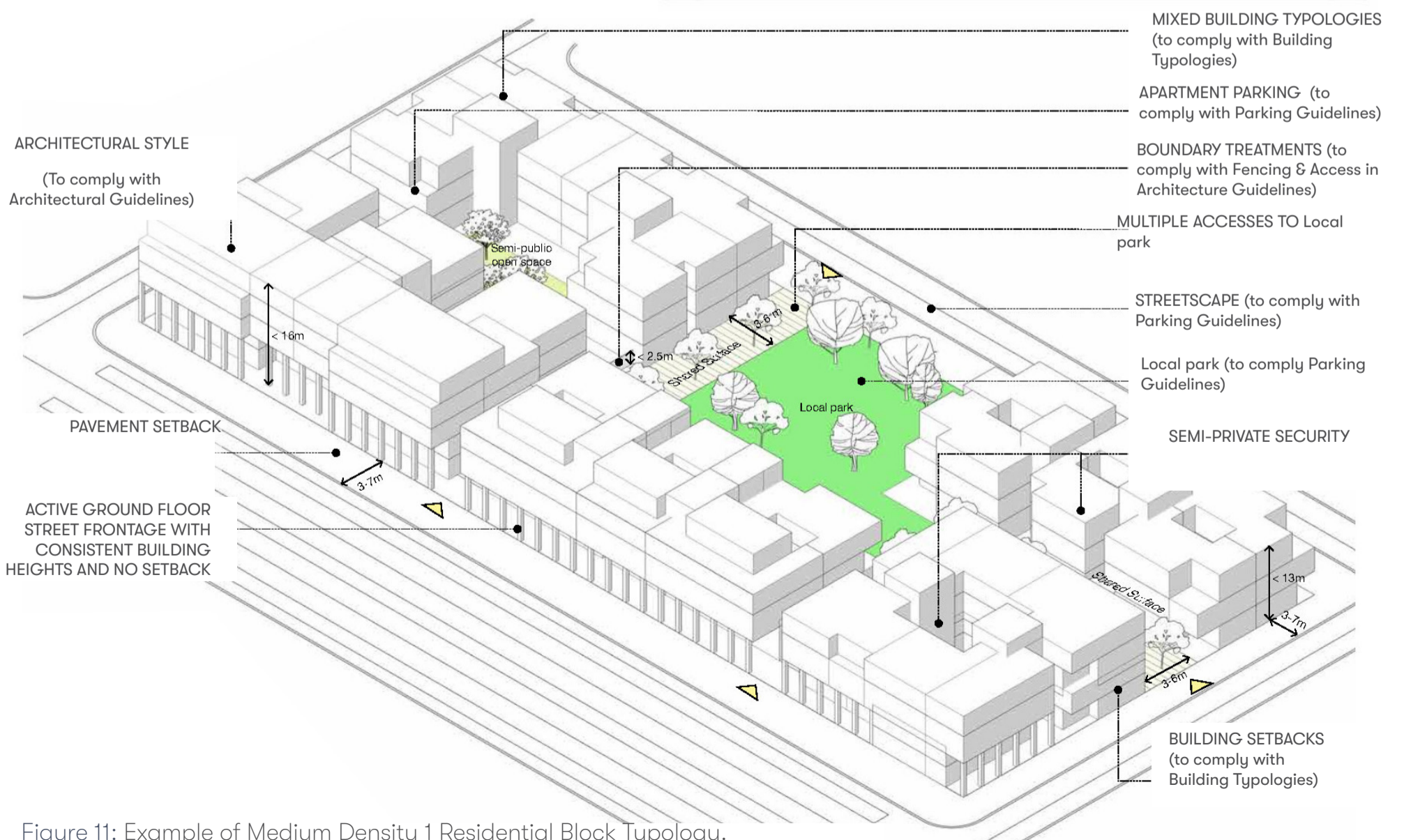
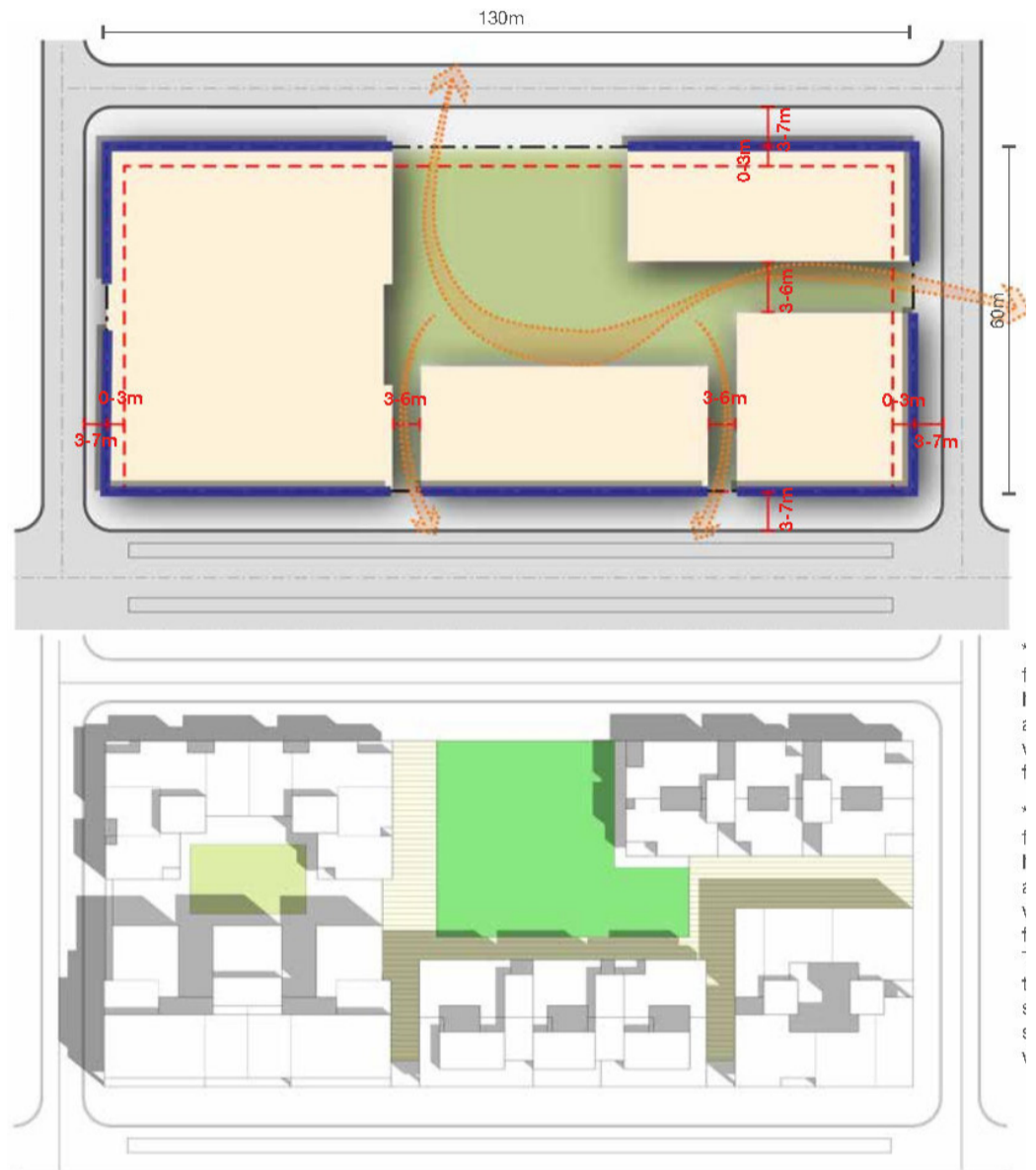


Figure 11: Example of Medium Density 1 Residential Block Typology.

Residential Plots Design Requirements

Category R4: RESIDENTIAL LOW DENSITY

General Description: The Residential Low Density (R4) is a land use established within neighbourhoods to promote a sense of community living.

The Requirements provided in the below table shall apply to all new and redeveloped residential plots and plots that have been rezoned to the Residential Low Density Land Use.

Development Requirements	
Uses	
Land use Level 1	Residential
Land use Level 2	Residential Low Density
Permitted Uses	<ul style="list-style-type: none"> • Single family houses (all types) • Low rise apartments
Prohibited Uses	<ul style="list-style-type: none"> • Industrial uses • Major infrastructure • General commercial use
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Office
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Average Plot Size	400 - 750 sqm
Coverage	
Maximum Plot Coverage	50%
Minimum Landscape Coverage	30%
Maximum FAR	1.0
GFA	
GFA Distribution for Plots without Permitted Hospitality	100% - Residential
GFA Distribution for Plots with Permitted Hospitality	50% - Residential; 50% - Hospitality
Building	
Maximum Height (Roof Line)	13.2m (Metres) (including maximum 1.2m parapet); 3 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.
Building Setback (Minimum)	
Main Building	Detached: Front - 6 m; Side 6m and Rear - 6m Attached: Front - 0/6 m; Side 0m and Rear - 6m
Basement Setback	• N/A
Ancillary Building	• N/A

Development Requirements

Building to Building Setback Between Multiple Buildings on same lot • N/A

Service Areas and Equipment

Loading Docks N/A

Outdoor Storage Area • Outdoor storage areas should be screened

Refuse Storage Areas • Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.

Mechanical Equipment • At grade water tank and mechanical equipment: Shall be located to the side or rear of building
• At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

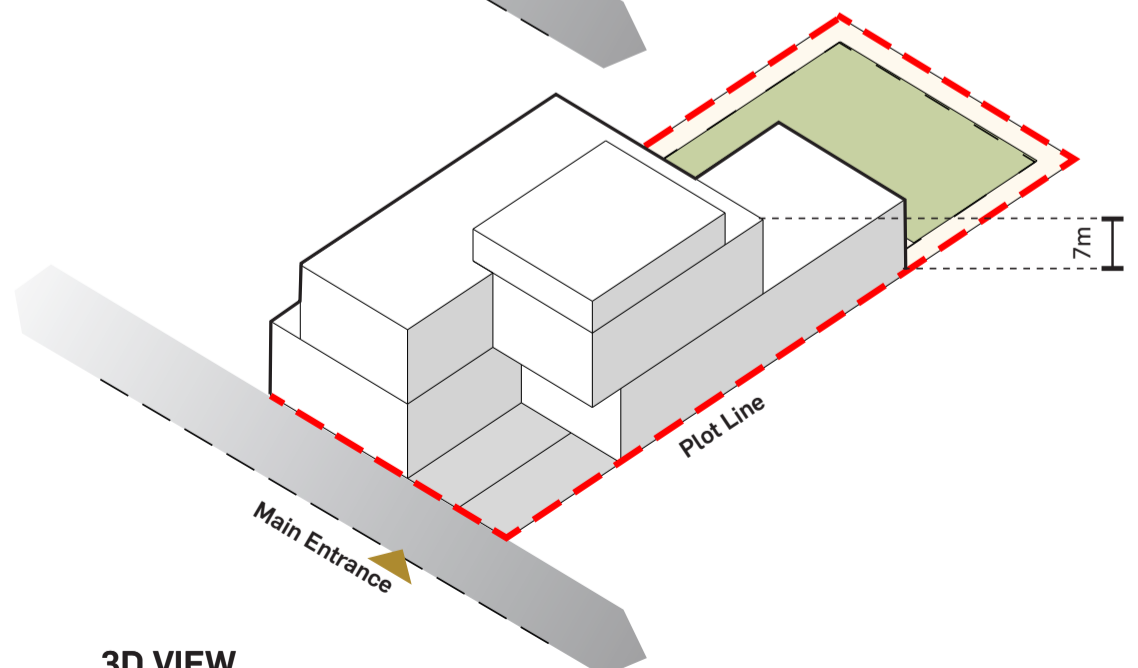
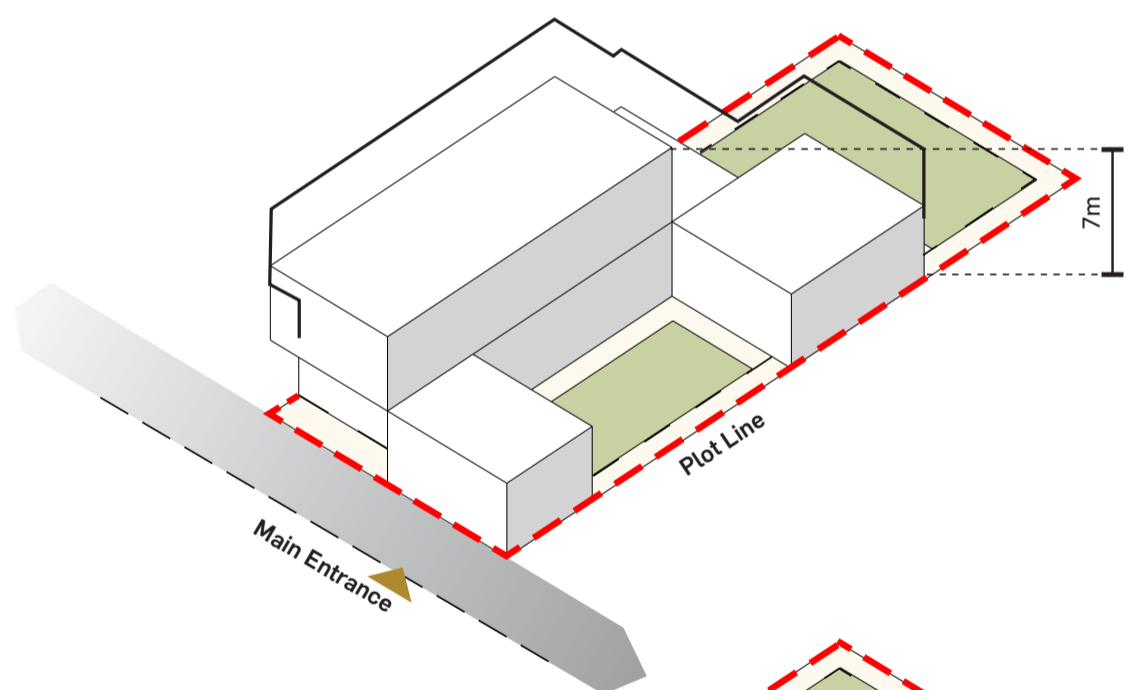
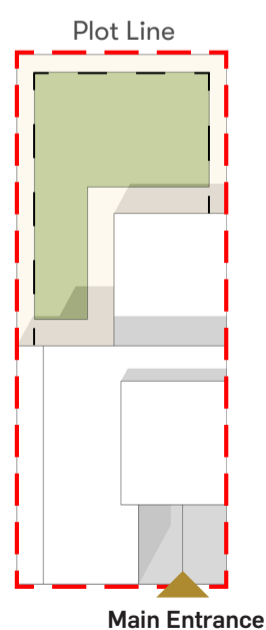
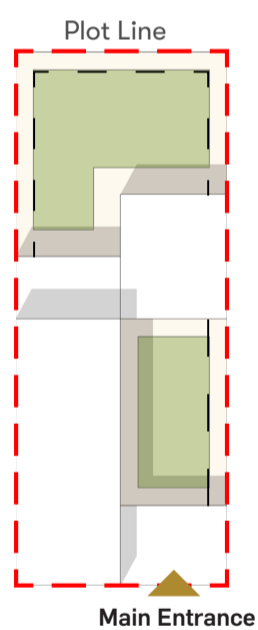
Parking Rate 2 parking spaces per unit (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)

Parking Location Required parking stalls shall be provided within the lot boundary

Fencing and Walls

Location All around

Height of Boundary wall 2m (Front max.), 2.5m (Side and Rear max.)



PLAN

3D VIEW

Figure 12: AlUla Residential Low Density Plan and View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine gate levels.
2. Form explorations of the R4 - Low Density Residential, other variations of the same may be used as long as they adhere to standards outlined for the land use typology.

Residential Plots Design Requirements

Potential Block Typology: RESIDENTIAL LOW DENSITY

In case a developer or group of residents/plot owners wish to amalgamate their low density residential plots, the following block typology related guidance may be adopted. This can help achieve a population density of about 200 PPH (Persons per Hectare).

Development Requirements

Uses

Land use Level 1	Residential
Land use Level 2	Residential Low density
Permitted Uses	<ul style="list-style-type: none"> • Single family houses (all types) • Low rise apartments
Prohibited Uses	<ul style="list-style-type: none"> • Industrial uses • Major infrastructure • General commercial use
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Office
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Typical block size	7,800 sqm

Coverage

Maximum Plot Coverage	50%
Minimum Landscape Coverage	30%
Average F.A.R Range for the city block	Low (FAR: 1.0 - 1.2)

GFA

GFA Distribution for Plots without Permitted Hospitality	100% - Residential
GFA Distribution for Plots with Permitted Hospitality	50% - Residential; 50% - Hospitality

Building

Maximum Height (Roof Line)	17.2m (Metres) (including maximum 1.2m parapet); 4 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.

Building Setback (Minimum)

Main Building	Front - 3 m; Side 3/6m and Rear - 3m
Basement Setback	N/A



Typical Example

Here is a typical example for illustrating a High Density Residential Community block where a mixture of building typologies are planned together to achieve the gross FAR and population density.

- LEGEND**
- PARCEL BOUNDARY
 - NEW RESIDENTIAL AREA
 - PUBLIC OPEN SPACE
 - SIDE WALK
 - ROAD
 - SETBACK
 - DIMENSION
 - KEY FRONTAGE
 - PEDESTRIAN LINKS

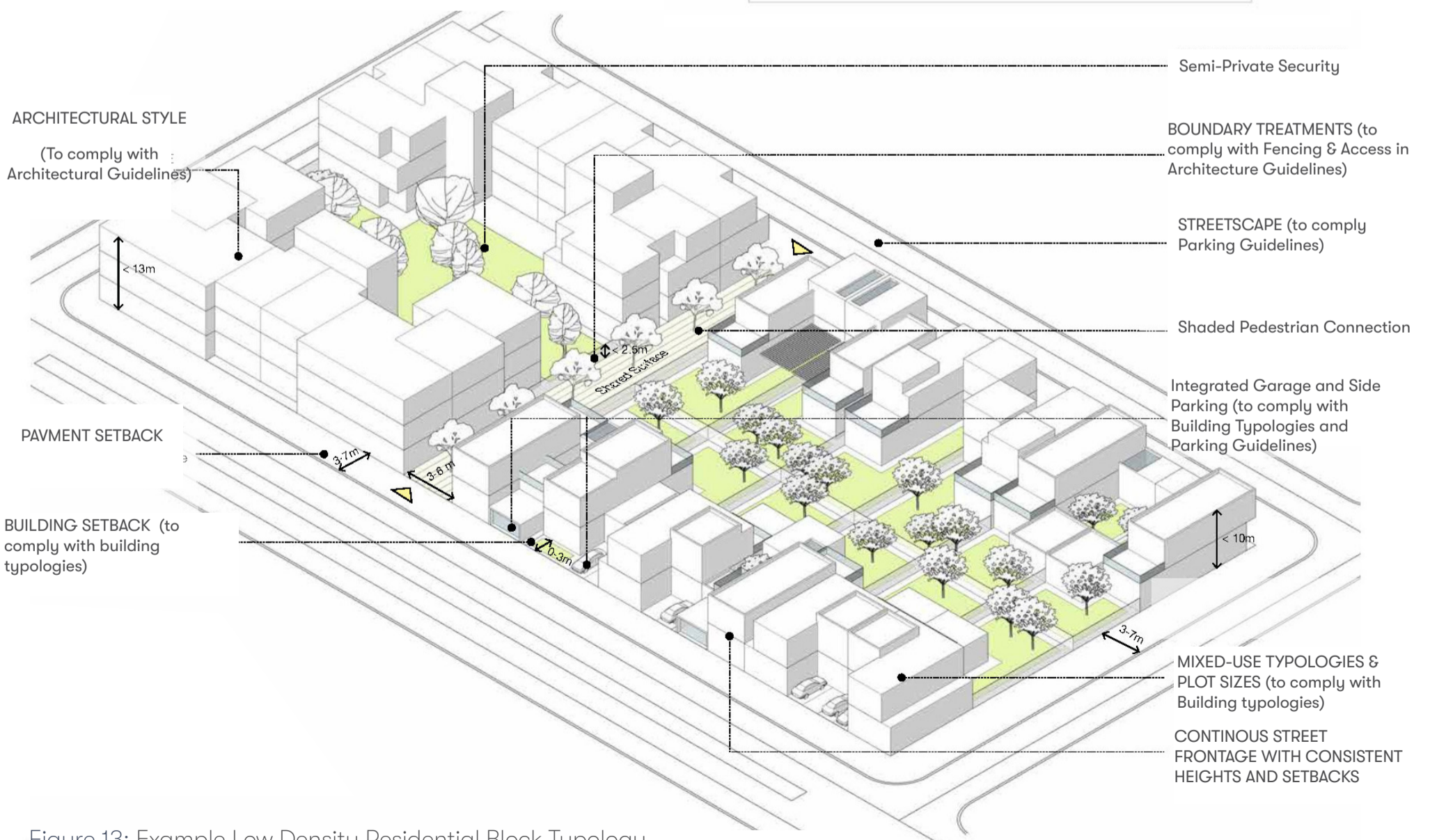


Figure 13: Example Low Density Residential Block Typology.

Residential Plots Design Requirements

Category R4a: RESIDENTIAL LOW DENSITY LUXURY

General Description: The Residential Low Density - Luxury (R4a) is a land use established within neighbourhoods to promote a sense of community living.

The Requirements provided in the below table shall apply to all new and redeveloped residential plots and plots that have been rezoned to the Residential Low Density - Luxury Land Use.

Development Requirements	
Uses	
Land use Level 1	Residential
Land use Level 2	Residential Low Density - Luxury
Permitted Uses	<ul style="list-style-type: none"> • Detached Single family houses
Prohibited Uses	<ul style="list-style-type: none"> • Industrial uses • Major infrastructure • General commercial use
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Office
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Average Plot Size	750 - 1,500 sqm
Coverage	
Maximum Plot Coverage	50%
Minimum Landscape Coverage	30%
Maximum FAR	1.0
GFA	
GFA Distribution for Plots without Permitted Hospitality	100% - Residential
Building	
Maximum Height (Roof Line)	13.2m (Metres) (including maximum 1.2m parapet); 3 floors/Storeys
Basement Floors	N/A
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.
Building Setback (Minimum)	
Main Building	Front - 6 m; Side 6m and Rear - 6m
Basement Setback	• N/A
Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• N/A

Development Requirements

Service Areas and Equipment

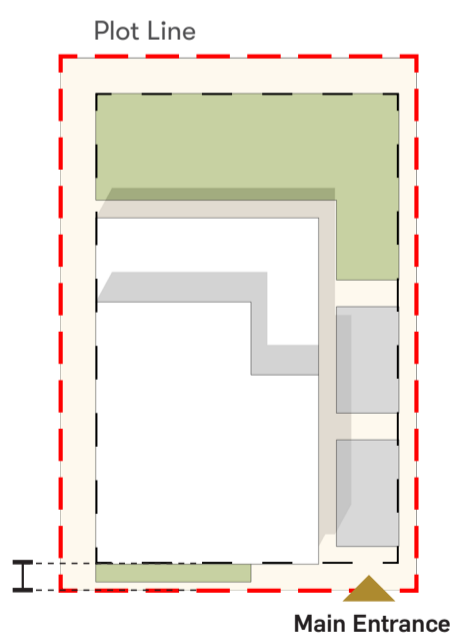
Loading Docks	N/A
Outdoor Storage Area	• Outdoor storage areas should be screened
Refuse Storage Areas	• Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	• At grade water tank and mechanical equipment: Shall be located to the side or rear of the building • At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

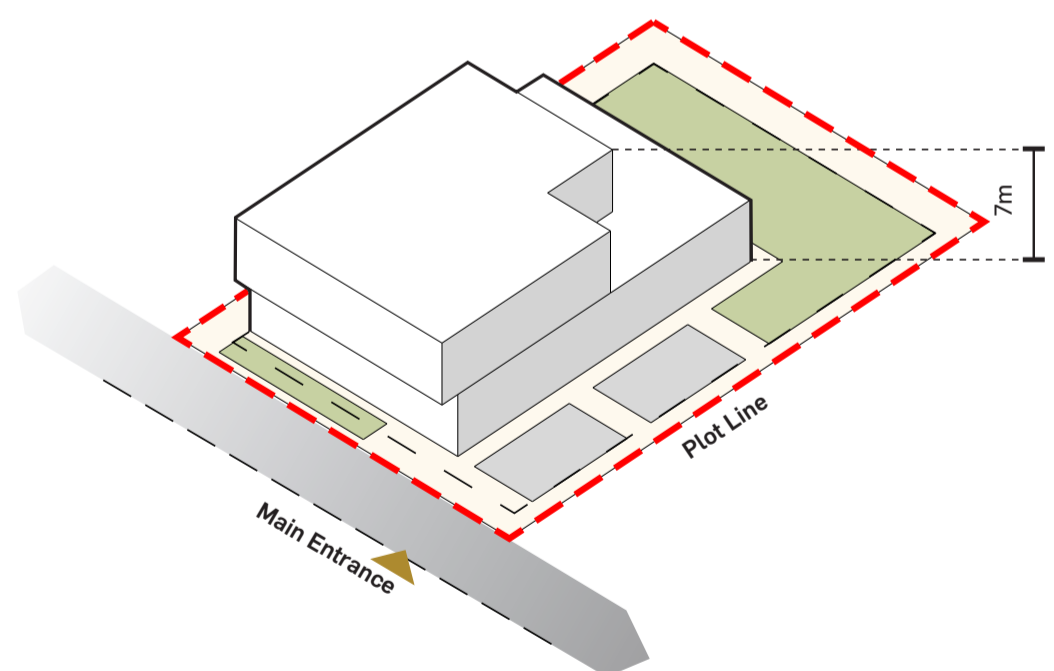
Parking Rate	2 parking spaces per unit (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary

Fencing and Walls

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



PLAN



3D VIEW

Figure 14: AlUla Residential Low Density - Luxury Plan and View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

2. Form explorations of the R4a - Low Density Residential, other variations of the same may be used as long as they adhere to standards outlined for the land use typology.

Residential Plots Design Requirements

Potential Block Typology: RESIDENTIAL LOW DENSITY LUXURY

In case a developer or group of residents/plot owners wish to amalgamate their low density - luxury residential plots, the following block typology related guidance may be adopted. This can help achieve a population density of about 80 PPH (Persons per Hectare).

Development Requirements

Uses

Land use Level 1	Residential
Land use Level 2	Residential Low density
Permitted Uses	<ul style="list-style-type: none"> • Single family houses (all types) • Low rise apartments
Prohibited Uses	<ul style="list-style-type: none"> • Industrial uses • Major infrastructure • General commercial use
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. Its ancillary uses) • Public facilities • Home Office
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Typical block size	7,800 sqm

Coverage

Maximum Plot Coverage	50%
Minimum Landscape Coverage	30%
Average F.A.R Range for the city block	Low (FAR: 0.5 - 0.7)

GFA

GFA Distribution for Plots without Permitted Hospitality	100% - Residential
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Building

Maximum Height (Roof Line)	17.2m (Metres) (including maximum 1.2m parapet); 4 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.

Building Setback (Minimum)

Main Building	Front - 6 m; Side 6m and Rear - 6m
Basement Setback	• N/A



Typical Example

Here is a typical example for illustrating a Low Density - Luxury Residential Community block where a mixture of building typologies are planned together to achieve the gross FAR and population density.

- LEGEND**
- PARCEL BOUNDARY
 - NEW RESIDENTIAL AREA
 - PUBLIC OPEN SPACE
 - SIDE WALK
 - ROAD
 - SETBACK
 - DIMENSION
 - KEY FRONTAGE
 - PEDESTRIAN LINKS

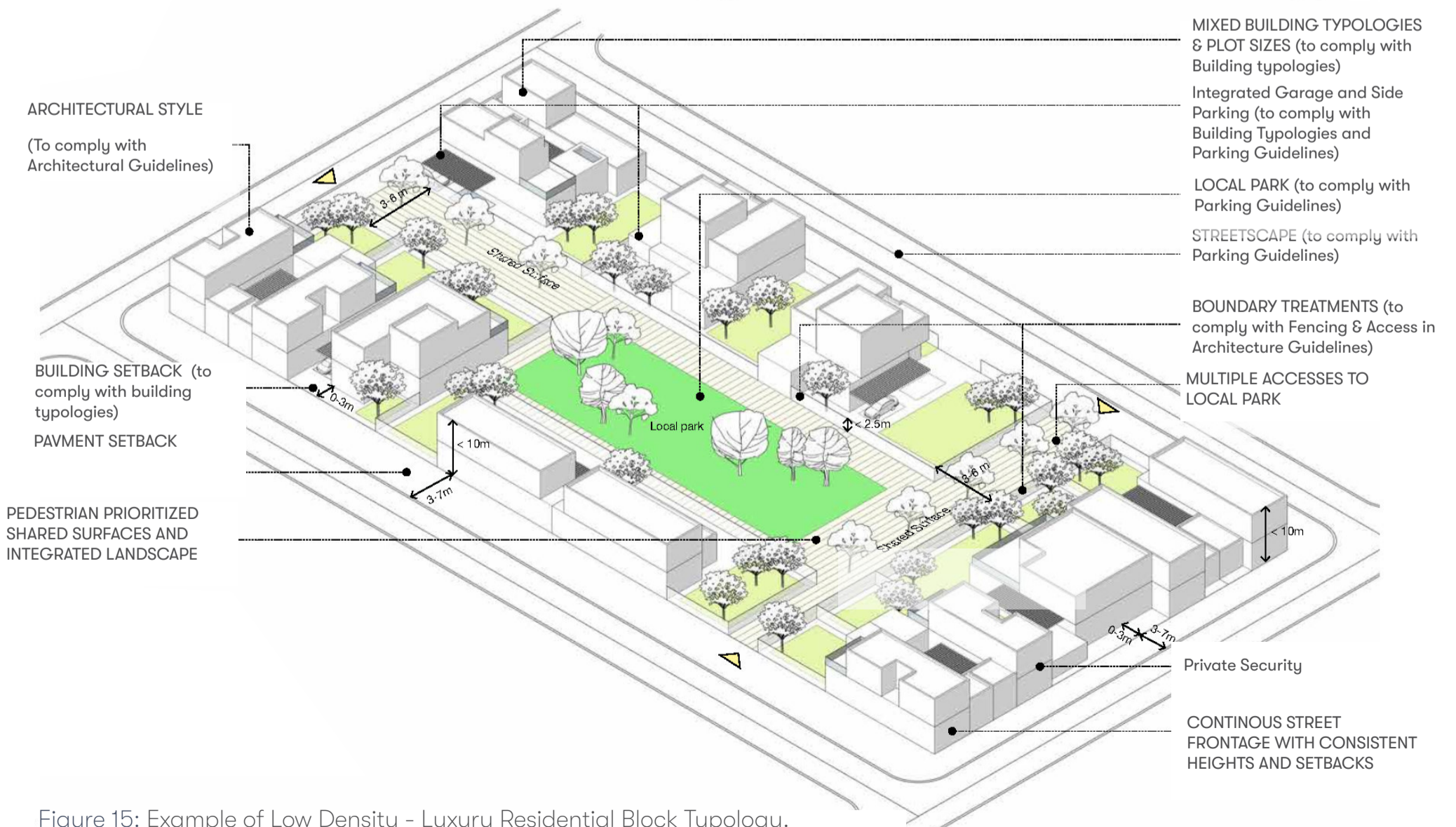
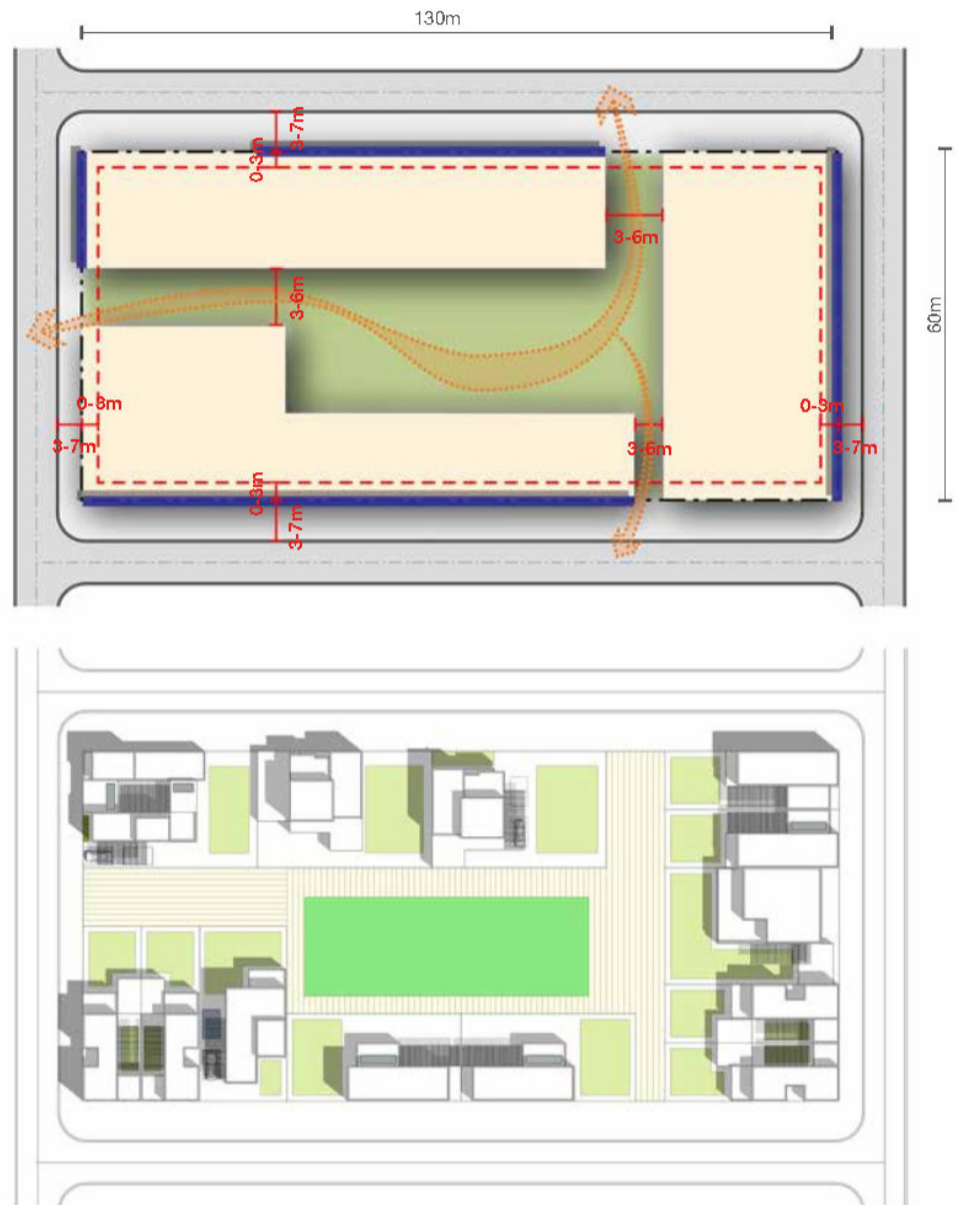


Figure 15: Example of Low Density - Luxury Residential Block Typology.

Residential Plots Design Requirements

Category R5: RESIDENTIAL SPECIAL

General Description: The Residential Low Density - Special (R5) is a land use established within neighbourhoods and in proximity to commercial nodes and support services to accommodate staff housing for the various hospitality and general commercial uses within the AIUla Central and South districts.

The Requirements provided in the below table shall apply to all new and redeveloped residential plots and plots that have been rezoned to the Residential Special Land Use.

Development Requirements

Uses

Land use Level 1	Residential
Land use Level 2	Residential Special
Permitted Uses	<ul style="list-style-type: none"> • Low and medium rise multifamily apartments • Semi-detached town houses and Detached Villas • Shop within apartment complex not exceeding 60 m² of floor area or 5% of GFA • Clubhouse
Prohibited Uses	<ul style="list-style-type: none"> • General Commercial uses • Industrial uses • Major infrastructure
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Offices
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Average Plot Size	N/A - The plots in this category with require further subdivision/amalgamation based on RCU requirements

Coverage

Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	2.0

GFA

Residential GFA no Hospitality	100%
Residential GFA with Hospitality	50%
Residential Hospitality	50%

Building

Maximum Height (Roof Line)	17.2m (Metres) (including maximum 1.2m parapet); 4 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.
Building Form	Semi Detached, Detached



Development Requirements

Building Setback (Minimum)

Main Building For Semi-Detached: Front - 6 m; Side from 0m to 6m and Rear - 6m
For Detached: Front - 6 m; Side 3/6m and Rear - 6m

Basement Setback • N/A

Ancillary Building • N/A

Building to Building Setback Between Multiple Buildings on same lot • N/A

Service Areas and Equipment

Loading Docks • Loading docks, if any, shall be located to the rear of the building.
• Where the rear of the building faces residential uses, the loading area shall be appropriately screened so as not to be visible from residential uses

Outdoor Storage Area • No outdoor storage shall be allowed

Refuse Storage Areas • Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.

Mechanical Equipment • At grade water tank and mechanical equipment: Shall be located to the side or rear of the building
• At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

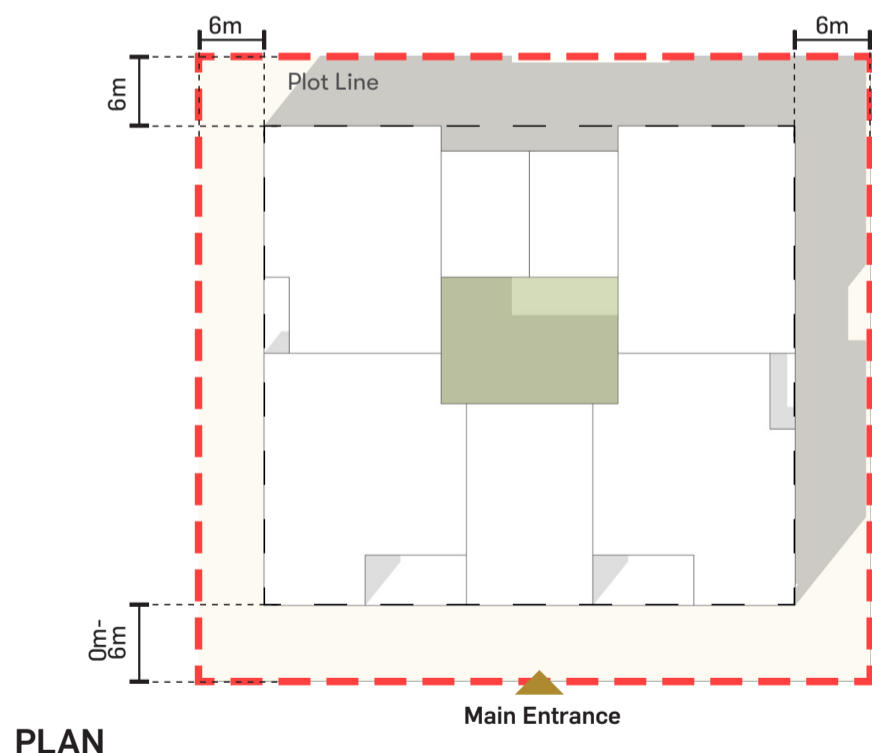
Parking Rate Dependent on the residential typology adopted (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)

Parking Location Required parking stalls shall be provided within the lot boundary

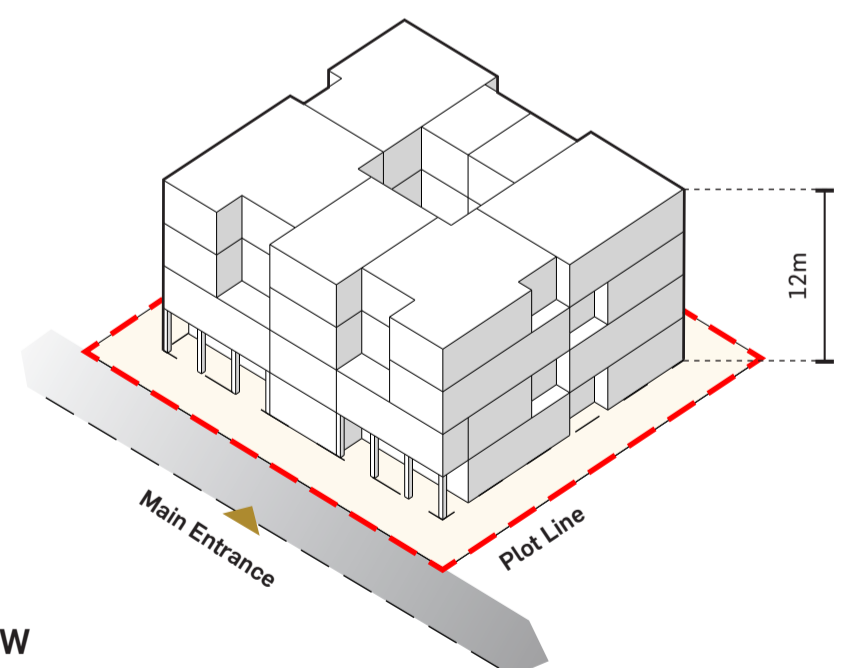
Fencing and Walls

Location All around

Height of Boundary wall 2m (Front max.), 2.5m (Side and Rear max.)



PLAN



3D VIEW

Figure 16: AlUla Residential Special Plan and View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

2. Form explorations of the R5 - Special Residential, other variations of the same may be used as long as they adhere to standards outlined for the land use typology or agreed typologies with RCU.

Residential Plots Design Requirements

Category R6: RESIDENTIAL AGRICULTURE

General Description: The Residential Agriculture (R6) is a land use established within neighbourhoods and in proximity to commercial nodes and support services to accommodate staff housing for the various hospitality and general commercial uses within the AIUla Central and South districts. The Requirements provided in the below table shall apply to all new and redeveloped residential plots and plots that have been rezoned to the Residential Special Land Use.

Development Requirements	
Uses	
Land use Level 1	Residential
Land use Level 2	Residential Agriculture
Permitted Uses	<ul style="list-style-type: none"> • Detached Single/Multi family houses
Prohibited Uses	<ul style="list-style-type: none"> • Industrial uses • Major infrastructure • General commercial use
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Office
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Average Plot Size	N/A
Coverage	
Maximum Plot Coverage	50%
Minimum Landscape Coverage	30%
Maximum FAR	0.4
GFA	
GFA Distribution for Plots without Permitted Hospitality	100% - Residential
Building	
Maximum Height (Roof Line)	9.2m (Metres) (including maximum 1.2m parapet); 2 floors/Storeys
Basement Floors	N/A
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.
Building Setback (Minimum)	
Main Building	Detached: Front - 6 m; Side 6m and Rear - 6m Attached: Front - 0 m; Side 0m; Side 3m and Rear - 6m
Basement Setback	• N/A
Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• N/A

Development Requirements

Service Areas and Equipment

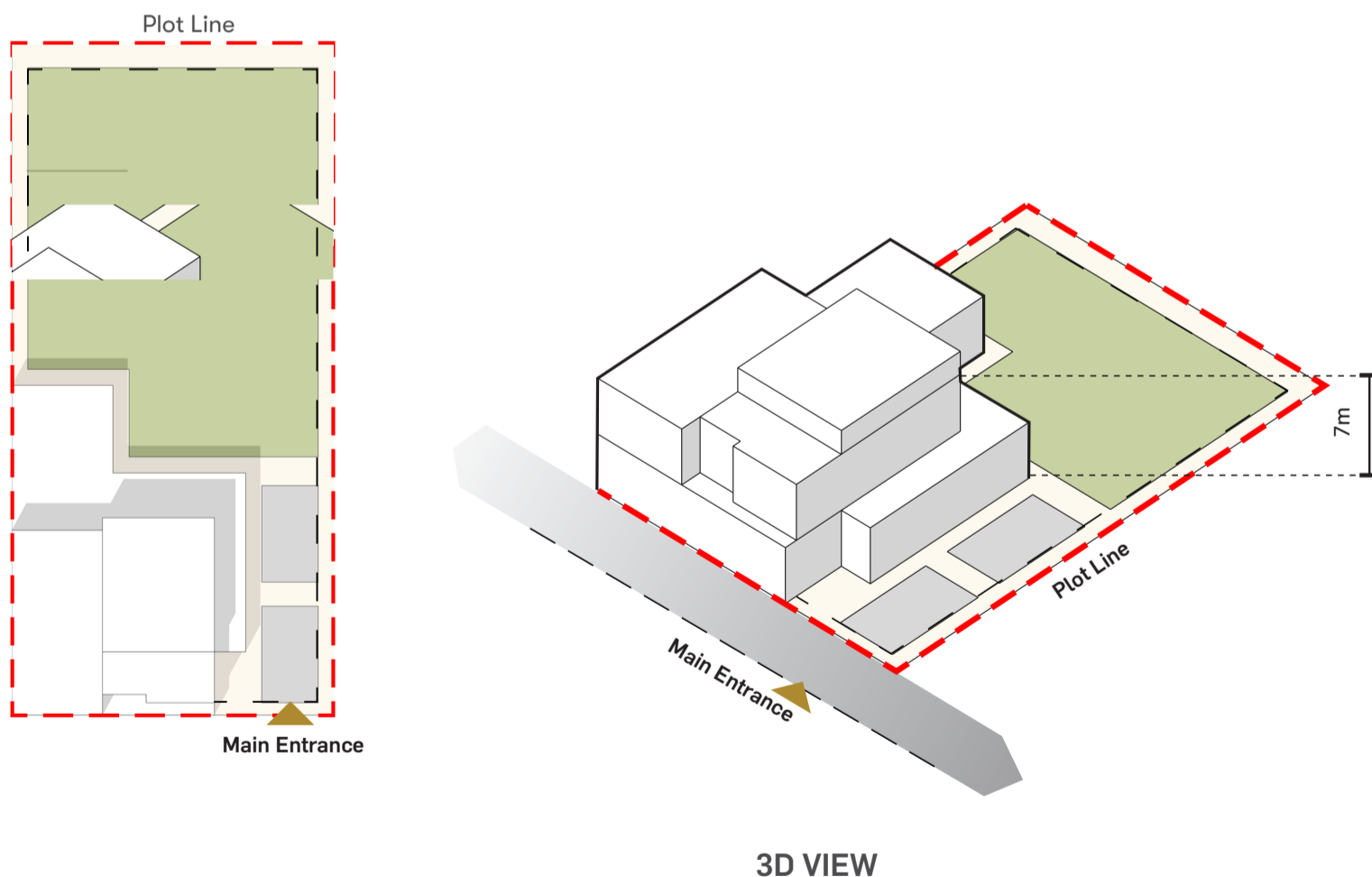
Loading Docks	N/A
Outdoor Storage Area	<ul style="list-style-type: none"> Outdoor storage areas should be screened
Refuse Storage Areas	<ul style="list-style-type: none"> Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	<ul style="list-style-type: none"> At grade water tank and mechanical equipment: Shall be located to the side or rear of the building At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

Parking Rate	2 parking spaces per unit (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary

Fencing and Walls

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



PLAN

3D VIEW

Figure 17: AIUla Residential Agriculture Plan and View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.

Residential Plots Design Requirements

Category R7: AFFORDABLE HOUSING

Prototype V - Villa Semi Attached

General Description: The Prototype V villa is a land use established within neighbourhoods to promote a sense of community living. The Requirements provided in the below table shall apply to all new and redeveloped residential plots and plots that have been rezoned to the Residential affordable housing prototype V.

Development Requirements	
Uses	
Land use Level 1	Residential
Land use Level 2	Affordable Housing (V)
Permitted Uses	<ul style="list-style-type: none"> • Single family houses (all types) • Low rise apartments
Prohibited Uses	<ul style="list-style-type: none"> • Industrial uses • Major infrastructure • General commercial use
Conditional Uses	<ul style="list-style-type: none"> • Public facilities • Home Office • Hotels (incl. its ancillary uses) • Standalone food outlet with less than 50 seats
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Average Plot Size	250 sqm
Coverage	
Maximum Plot Coverage	48%
Minimum Landscape Coverage	30%
Maximum FAR	1.0
GFA	
GFA Distribution for Plots without Permitted Hospitality	100% - Residential
GFA Distribution for Plots with Permitted Hospitality	50% - Residential; 50% - Hospitality
Building	
Maximum Height (Roof Line)	13.2m (Metres) (including maximum 1.2m parapet); 3 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.
Building Setback (Minimum)	
Main Building	Semi-Detached , Attached: Front - 6 m (to cater for parking structures); Side 2m if facing a residential block or street edge, with another side having a setback of 0m, and Rear Setback- 4.5m
Basement Setback	• N/A
Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• N/A

Development Requirements

Service Areas and Equipment

Loading Docks	N/A
Outdoor Storage Area	<ul style="list-style-type: none"> Outdoor storage areas should be screened
Refuse Storage Areas	<ul style="list-style-type: none"> Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	<ul style="list-style-type: none"> At grade water tank and mechanical equipment: Shall be located to the side or rear of building At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

Parking Rate	2 parking spaces per unit (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan). No additional parking spaces are permissible.
Parking Location	Required parking stalls shall be provided within the plot boundary

Fencing and Walls

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)

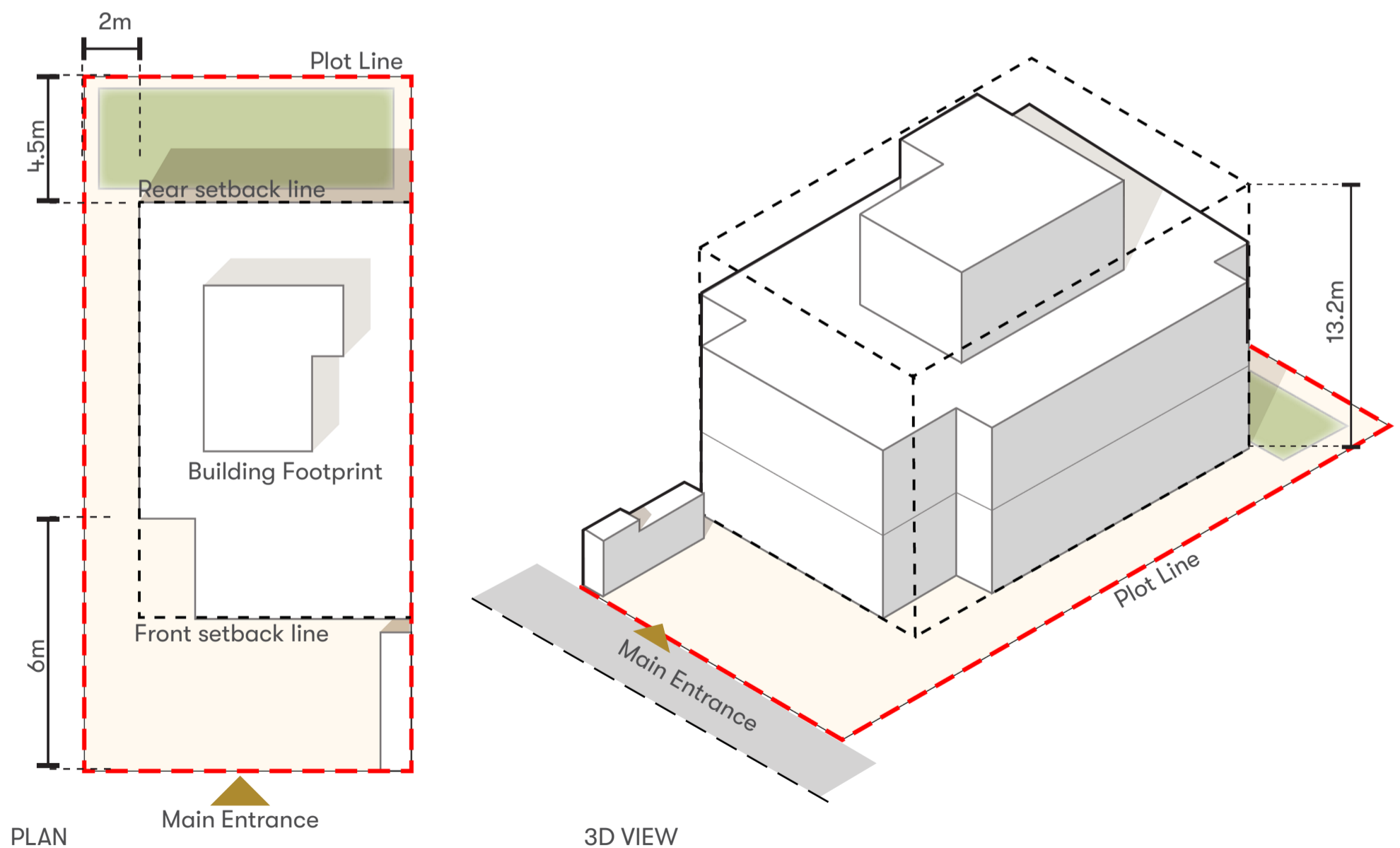


Figure 18: AIUla Residential Affordable (Prototype V) Plan and View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine gate levels.
2. Form explorations of the Villa Semi-attached prototype, may be used as long as they adhere to standards outlined for the land use typology.

Residential Plots Design Requirements

Category R7: AFFORDABLE HOUSING

Prototype TH - Town House

General Description: The Prototype TH Town House is a land use established within neighbourhoods to promote a sense of community living. The Requirements provided in the below table shall apply to all new and redeveloped residential plots and plots that have been rezoned to the Residential affordable housing prototype TH.

Development Requirements	
Uses	
Land use Level 1	Residential
Land use Level 2	Affordable Housing (TH)
Permitted Uses	<ul style="list-style-type: none"> • Single family houses (all types) • Low rise apartments
Prohibited Uses	<ul style="list-style-type: none"> • Industrial uses • Major infrastructure • General commercial use
Conditional Uses	<ul style="list-style-type: none"> • Public facilities • Home Office • Hotels (incl. its ancillary uses) • Standalone food outlet with less than 50 seats
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Average Plot Size	200 sqm
Coverage	
Maximum Plot Coverage	40%
Minimum Landscape Coverage	30%
Maximum FAR	1.0
GFA	
GFA Distribution for Plots without Permitted Hospitality	100% - Residential
GFA Distribution for Plots with Permitted Hospitality	50% - Residential; 50% - Hospitality
Building	
Maximum Height (Roof Line)	13.2m (Metres) (including maximum 1.2m parapet); 3 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.
Building Setback (Minimum)	
Main Building	Semi-Detached , Attached: Front - 6 m (to cater for parking structures); Both sides of the plot will have 0m Setback, and Rear Setback- 7m
Basement Setback	• N/A
Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• N/A

Development Requirements

Service Areas and Equipment

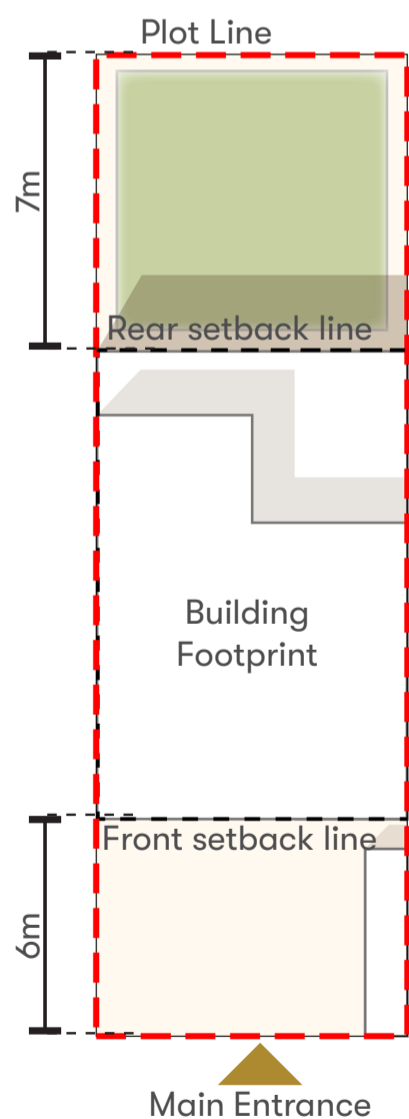
Loading Docks	N/A
Outdoor Storage Area	<ul style="list-style-type: none"> Outdoor storage areas should be screened
Refuse Storage Areas	<ul style="list-style-type: none"> Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	<ul style="list-style-type: none"> At grade water tank and mechanical equipment: Shall be located to the side or rear of building At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

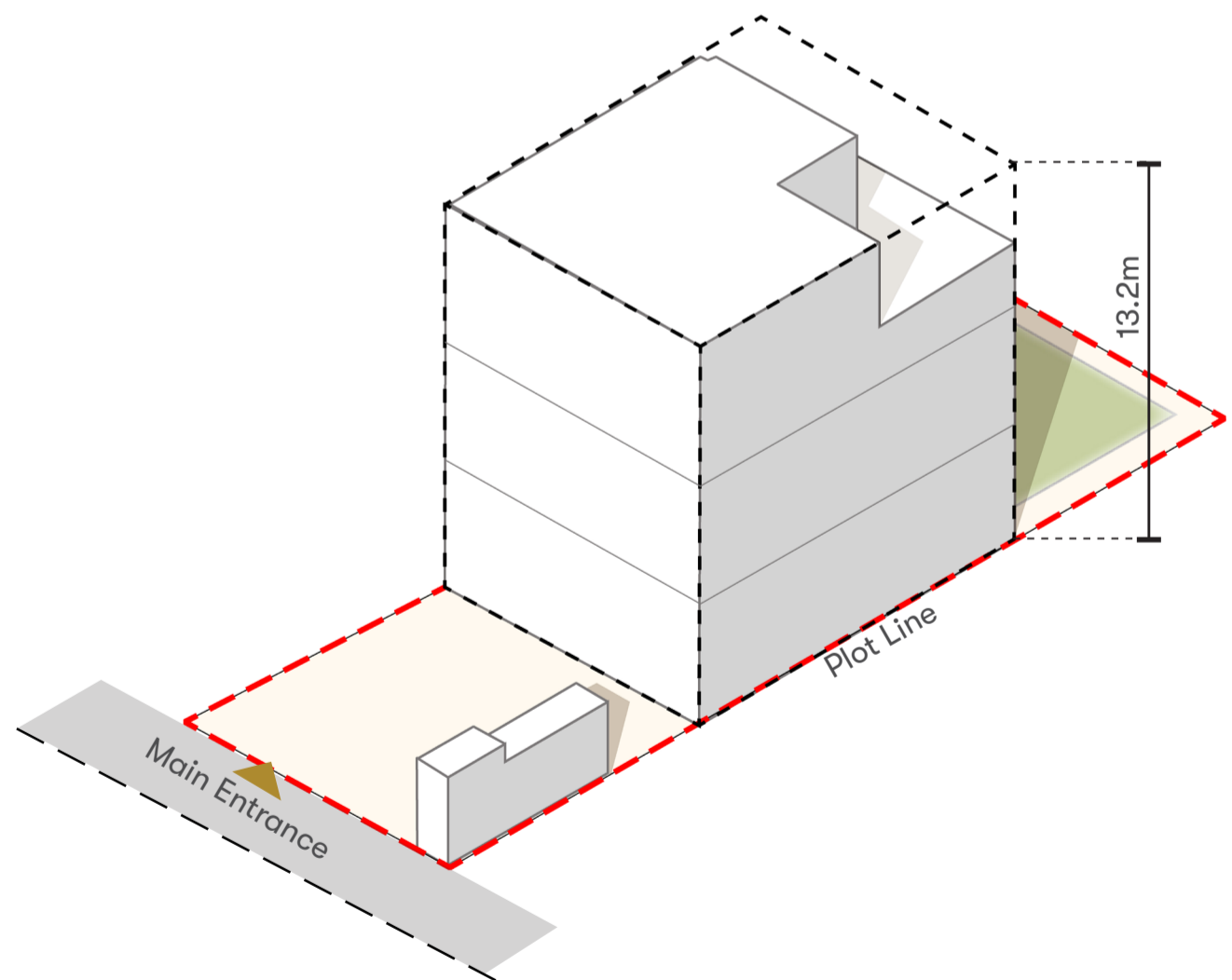
Parking Rate	2 parking spaces per unit (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan). No additional parking spaces are permissible.
Parking Location	Required parking stalls shall be provided within the lot boundary

Fencing and Walls

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)



PLAN



3D VIEW

Figure 19: AlUla Residential Affordable (Prototype TH) Plan and View

Notes: 1. All plots should be reviewed based on the adjoining public realm design and road design to determine gate levels.
2. Form explorations of the TH Town House prototype, may be used as long as they adhere to standards outlined for the land use typology.

Residential Plots Design Requirements

Category R7: AFFORDABLE HOUSING

Prototype APT - Multi-Family

General Description: The Prototype APT Multi-Family is a land use established within neighbourhoods to promote a sense of community living. The Requirements provided in the below table shall apply to all new and redeveloped residential plots and plots that have been rezoned to the Residential affordable housing prototype APT.

Development Requirements	
Uses	
Land use Level 1	Residential
Land use Level 2	Affordable Housing (APT)
Permitted Uses	<ul style="list-style-type: none"> • Low and medium rise multifamily apartments • Semi-detached town houses and Detached Villas • Shop within apartment complex not exceeding 60 m² of floor area or 5% of GFA • Clubhouse
Prohibited Uses	<ul style="list-style-type: none"> • General Commercial uses • Industrial uses • Major infrastructure
Conditional Uses	<ul style="list-style-type: none"> • Standalone food outlet with less than 50 seats • Hotels (incl. its ancillary uses) • Public facilities • Home Offices
Ancillary Uses	<ul style="list-style-type: none"> • Car parking garage • Guard house • Maids' quarters • Outdoor kitchen • Store rooms
Average Plot Size	N/A
Coverage	
Maximum Plot Coverage	60%
Minimum Landscape Coverage	20%
Maximum FAR	2.0
GFA	
Residential GFA no Hospitality	100%
Residential GFA with Hospitality	50%
Residential Hospitality	50%
Building	
Maximum Height (Roof Line)	21.2m (Metres) (including maximum 1.2m parapet); 5 floors/Storeys
Basement Floors	2
Maximum Height for Accessory Buildings	4 m
Floor to Floor Height	Refer to Table (1) of The Urban Design General Guidelines.
Building Form	Semi Detached, Detached
Building Setback (Minimum)	
Main Building	For Semi-Detached: Front - 6 m; Side from 0m to 6m and Rear - 6m For Detached: Front - 6 m; Side 3/6m and Rear - 6m
Basement Setback	• N/A

Development Requirements

Ancillary Building	• N/A
Building to Building Setback Between Multiple Buildings on same lot	• N/A

Service Areas and Equipment

Loading Docks	• N/A
Outdoor Storage Area	• No outdoor storage shall be allowed
Refuse Storage Areas	• Proper location of the outdoor refuse areas shall be decided by RCU upon review of the development application.
Mechanical Equipment	<ul style="list-style-type: none"> • At grade water tank and mechanical equipment: Shall be located to the side or rear of the building • At grade or rooftop water tank, mechanical and telecommunications equipment: Shall be screened subject to approval by RCU or other relevant authorities

Parking

Parking Rate	Dependent on the residential typology adopted (Further parking requirements for cycles, lorries, disabled, electric and service vehicles should be adopted from the AlUla Central and South Infrastructure Master Plan)
Parking Location	Required parking stalls shall be provided within the lot boundary

Fencing and Walls

Location	All around
Height of Boundary wall	2m (Front max.), 2.5m (Side and Rear max.)

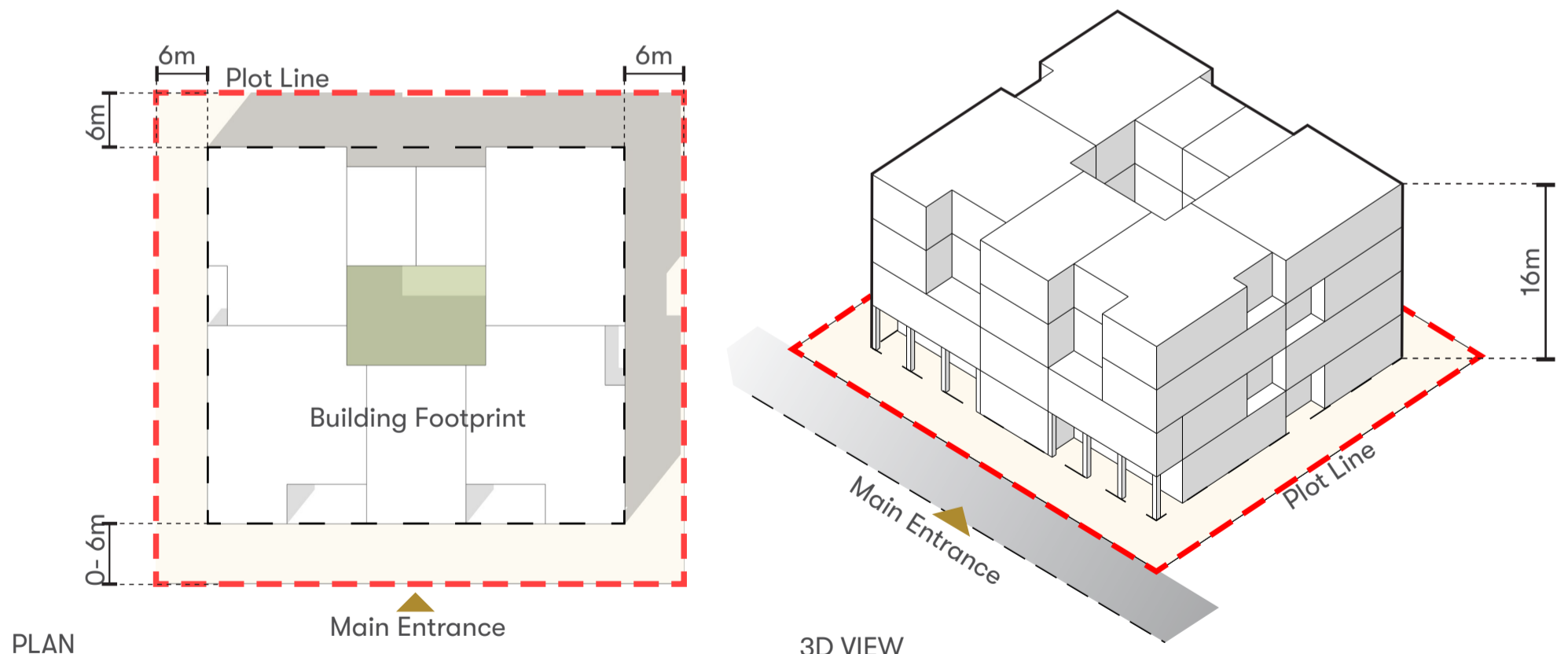


Figure 20: AIUla Residential Affordable (Prototype APT) Plan and View

Notes:

1. All plots should be reviewed based on the adjoining public realm design and road design to determine the gate levels.
2. Form explorations of the APT Multi-family prototype, may be used as long as they adhere to standards outlined for the land use typology.

6. List of Abbreviations

Abbreviation	Full name
RCU	ROYAL COMMISSION FOR ALULA
RCU CZP	RZU COUNTY ZONING AND PLANNING
MP2	MASTER PLAN AREA 2
MP1	MASTER PLAN AREA 1
FAR	FLOOR TO AREA RATIO
GFA	GROSS FLOOR AREA
N/A	NOT APPLICABLE



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